



Request for City Council Action

DEPARTMENT INFORMATION

ORIGINATING DEPARTMENT	REQUESTOR:	MEETING DATE:
Planning	City Planner Licht	26 February 2024
PRESENTER(S)	REVIEWED BY:	ITEM #:
City Planner Licht	City Administrator/Finance Director Flaherty City Engineer Wagner	4.1 – Costco

STRATEGIC VISION

MEETS:	THE CITY OF OTSEGO:
X	Is a strong organization that is committed to leading the community through innovative communication.
X	Has proactively expanded infrastructure to responsibly provide core services.
	Is committed to delivery of quality emergency service responsive to community needs and expectations in a cost-effective manner.
X	Is a social community with diverse housing, service options, and employment opportunities.
	Is a distinctive, connected community known for its beauty and natural surroundings.

AGENDA ITEM DETAILS

RECOMMENDATION:	
City staff recommends the City Council approve a Zoning Map amendment, preliminary plat, and Conditional Use Permit.	
ARE YOU SEEKING APPROVAL OF A CONTRACT?	IS A PUBLIC HEARING REQUIRED?
No	Yes, was held by Planning Commission 5 February 2024
BACKGROUND/JUSTIFICATION:	
<p>Costco Wholesale Corporation has submitted plans to subdivide 25.41 acres located at the northwest corner of 60th Street (CR 137) and Maclver Avenue into three lots. One of the lots is proposed for development of a Costco retail store and accessory motor fuel facility in 2025. The subdivision proposal requires applications to amend the Zoning Map to change the zoning of the subject site from A-1, Agriculture Rural Service District to B-3, General Business District, approval of a preliminary plat, and approval of a Conditional Use Permit.</p> <p>A public hearing was held by the Planning Commission at their meeting on 5 February 2024. Mr. Michael Stratis of Intrepid Properties and Mr. Stephen Cross of Cross Engineering & Associates, Inc. were present to represent Costco. Mr. Stratis and Mr. Cross, along with their traffic engineering consultant, provided background regarding Costco operations, the proposed development, and related traffic generation. The public hearing was well attended with 40 to 50 people present at the meeting and more than 30 viewers via the internet. Minutes of meeting including the comments and questions given during the public hearing along with responses by the developer and City staff are attached for review by the City Council. The public hearing was closed.</p> <p>Planning Commission discussion was limited to questions concerning how Costco identifies its store locations, consumer behavior profiles for their stores, and how information regarding traffic generation is obtained. The Planning Commission also discussed the effect the proposed Costco store would have for development of the surrounding area. After discussion, the Planning Commission voted 6-0 to recommend approval of the current application. The Planning Commission noted for those present that approval of the proposed development will require additional zoning applications involving a public hearing.</p>	

SUPPORTING DOCUMENTS ATTACHED:

- **Planning Report dated 1 February 2024**
- **Minutes of Otsego Planning Commission; February 5, 2024**
- **Findings of Fact and Decision; Zoning Map Amendment**
- **Ordinance 2024-03**
- **Findings of Fact and Decision; Preliminary Plat/Conditional Use Permit**

POSSIBLE MOTION

PLEASE WORD MOTION AS YOU WOULD LIKE IT TO APPEAR IN THE MINUTES:

Motion to adopt Ordinance 2024-03 amending the Zoning Map and approve a preliminary plat and Conditional Use Permit for Costco, subject to the stipulations listed by the Findings of Fact and Decision as presented.

BUDGET INFORMATION

FUNDING:	BUDGETED:
Fund 701 – Development Escrow	N/A



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PLANNING REPORT

TO: Otsego Planning Commission

FROM: D. Daniel Licht

REPORT DATE: 1 February 2024

60-DAY DATE: 8 March 2024

RE: Otsego – Costco; Zoning Map/Preliminary Plat

TPC FILE: 101.02

BACKGROUND

Costco Wholesale Corporation has submitted plans to subdivide 25.41 acres located at the northwest corner of 60th Street (CR 137) and MacIver Avenue (Exhibit A) into three lots. One of the lots is proposed for development of a Costco retail store and accessory motor fuel facility (Exhibit B) in 2025. The subdivision proposal requires applications to amend the Zoning Map to change the zoning of the subject site from A-1, Agriculture Rural Service District to B-3, General Business District and for approval of a preliminary plat.

The requested Zoning Map amendment is necessary for the subdivision of lots subject to the minimum requirements of the B-3 District and development of any of the various commercial businesses allowed within the B-3 District. Development of specific uses allowed within the B-2 District will require for additional zoning approvals that are be subject to review by the Planning Commission following a public hearing and approval of the City Council. The preliminary plat is the initial design of a proposed subdivision of the subject site showing the layout of lots, rights-of-way and streets, accesses, utilities, and stormwater facilities. If approved, subdivision of the property requires a subsequent application for a final plat that is subject to review and approval of the City Council only.

A public hearing has been noticed for the Planning Commission meeting on 5 February 2024 at 7:00PM to consider the Zoning Map amendment and preliminary plat application.

Exhibits:

- A. Site Location Map
- B. Developer narrative dated January 8, 2024
- C. Otsego Future Land Use Plan
- D. Wright County Long Range Transportation Plan
- E. Otsego Transportation Plan
- F. Civil Plans dated 26 Jan 2024 (22 sheets)

ANALYSIS

Existing Conditions. The 25.41 acre subject site consists of two parcels. The property was once used as a landscape nursery for Midwest Landscapes, Inc. The current property owner, who has owned the land for approximately 45 years according to the developer (Exhibit B), was an owner of Midwest Landscapes, Inc but is no longer involved in the business. Midwest Landscapes, Inc. in 1999 consolidated and relocated its operations approximately two miles to the east within Otsego. The subject site has remained unused since that time, although a portion of the original property was acquired by D.R. Horton in 2004 for construction of Maclver Avenue between 60th Street (CR 137) and 63rd Street as part of the Zimmer Farms subdivision. Aerial photography from 2005 (right) and 2023 (left) below illustrates the changes in the area that have occurred over time from when sewer and water utilities were initially constructed, including construction of Maclver between CR 137 (60th Street) and 63rd Street.



Surrounding Uses. The subject site is surrounded by the following existing and planned land uses summarized in the table below and shown on Exhibit A. The subject site is the west edge of an area of commercial and industrial development adjacent to I-94 with access served by an interchange at CSAH 37. Maclver Avenue functions as the east boundary of this commercial and industrial area transitioning to Medium-to-High Density Residential land uses to the east of the 80 foot wide collector street corridor.

Direction	City	Land Use Plan	Zoning Map	Existing Use
East	Otsego	MHD Residential	R6 District	B/B townhouses Row townhouses
South	Albertville	Commercial Public-Semi Public	PUD District P/I District	Emma Krumbee's Undeveloped Cemetery
West	Albertville	Commercial Industrial	B3 District I2 District	Nassau Pools & Spa Stone Granite AWR Enterprises
North	Albertville	Public-Semi Public	P/I District	City of Albertville

The townhouses within Zimmer Farms were developed adjacent to the collector street and with expectation of the future development of the commercial land to the east with a site plan that includes a residential buffer yard having an increased 65 foot setback from the right-of-way line and installation of plantings intended to provide screening. The proposed subdivision of the property for commercial land uses will be compatible with the existing and planned land uses in the area. Further consideration as to the transition between the commercial uses within the subject site and surrounding area will be evaluated as part of the development plans for Lot 1, Block 1.

Applications. The proposed development of the subject site as presented on the submitted plans requires consideration of the following applications:

- Zoning Map amendment rezoning from A-1 District to B-3 District
- Conditional Use Permit:
 - Lot less than the minimum width of the B-3 District
 - Lots not accessing directly to a public street
- Preliminary Plat
- Final Plat

Development of Lot 1, Block 1 as shown on the submitted plans, as well as future development of Lots 2 and 3, Block 1, will require a subsequent application for zoning approvals including but not limited to:

- Site and Building Plan Review
- Conditional Use Permit for Motor Fuel Sales
- Conditional Use Permit for Minor Auto Repair

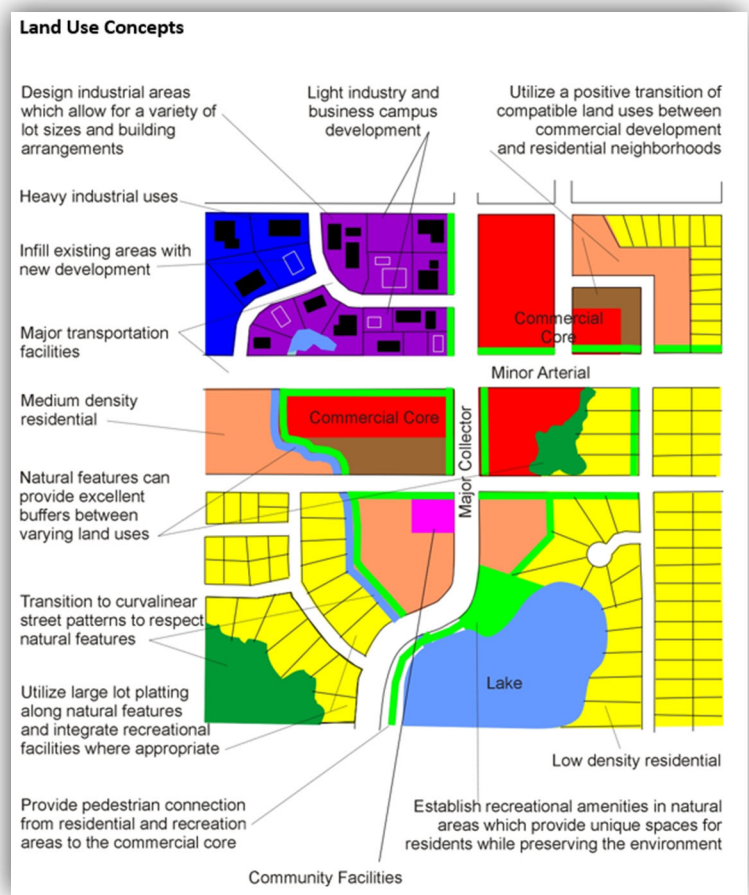
The developer has elected to pursue the applications in two stages, which is their right to do so in accordance with Minnesota Statutes 462.357, Subd. 4 and 462.358, Subd. 3b; Section 11-3-2.B of the Zoning Ordinance; and Section 10-5-2.A.3 of the Subdivision Ordinance. The first application includes a request for approval of the Zoning Map amendment, preliminary plat, and Conditional Use Permit for Lots 2-3, Block 1 to use access through Lot 1, Block 1 to public streets.

The second request will include zoning applications applicable to development of Lot 1, Block 1 and a final plat. The primary reason for the two-step process is to allow for coordination between the developer, City, and Wright County with regards to right-of-way dedication and construction plans for 60th Street (CR 137), which is to be improved in 2025 as part of a previously planned Wright County Capital Improvement Plan project.

The developer has not requested financial subsidies related to the development in the form of Tax Increment Financing or Tax Abatement. Any request for financial assistance for the project would be reviewed in accordance with the criteria and process established by the City's Economic Development Policy. However, no application for financial assistance is anticipated by City staff.

Comprehensive Plan. The 2004 Otsego Comprehensive Plan established a West Sewer District as a second area within the City for development of urban land uses served by City sewer and water utilities. Prior to construction of the West Wastewater Treatment Facility (W-WTF) and water system, the area was limited to rural development.

The land use plan implemented in 2004 for the West Sewer District reflects the concepts of growth management, economic development, growth management, land use compatibility and relation of development to transportation infrastructure illustrated by the graphic at right. (2023 Otsego Comprehensive Plan, page 25)



The Future Land Use Plan identifies commercial locations within the City (Exhibit C) that provide opportunities for convenient access to retail goods and services to be developed. The City's goal is to promote a range of viable commercial development responsive to the retail and service needs of the community and surrounding market area. The specific businesses that choose to develop within a given commercial area guided by the Comprehensive Plan is a function of market economics and private business decisions.

The subject site has been identified since the 2004 Comprehensive Plan for future development of commercial land uses based on access and visibility from I-94 and as a transitional land use to Medium-to-High Density Residential, Medium Density Residential, and Low Density Residential land uses east of Maclver Avenue. The 2023 Comprehensive Plan update describes the planned land use of the subject site as follows:

“The area east of I-94 on the north side of 60th Street (CR 137) is designated as commercial location with excellent visibility and access from I-94, as well as serving as a gateway for residential neighborhoods within the West Sewer District via Maclver Avenue. Development in this area must be coordinated with Wright County and the City of Albertville so as to ensure adequate access and traffic control as improvements are made to 60th Street (CR 137) east of I-94 to Maclver Avenue and beyond.

Given the location and size of the parcel that is under single ownership guided for commercial land uses, this area may be suitable for a large regional retail business with pad sites for smaller restaurant, retail, or service business, hotel or possibly a Mixed Use development. Like other commercial locations within the City, this area should be encouraged to develop with the highest levels of quality site and building design. Transition to the existing residential dwellings east of Maclver Avenue must also be considered as part of the development review process for this property.” (2023 Otsego Comprehensive Plan, page 62-63)

The character of proposed commercial development of the subject site with one lot for a large regional retail business and an accessory motor fuel facility, and two lots for other potential commercial retail or service business is well aligned with the recommendations of the 2023 Comprehensive Plan. The principal and accessory structures within the development are to be located in the west and south portions of the subject site (Exhibit F) and provide the basis for an appropriate transition to residential uses east of the Maclver Avenue collector street corridor. The transition elements of the site plan, including landscaping and exterior lighting, will be further evaluated as part of the zoning applications required for development of Lot 1, Block 1.

Zoning. Since adoption of the 1998 Comprehensive Plan, the City has implemented a policy that properties are not zoned to allow for the land uses guided by the Future Land Use Plan until such time as a development application is presented and a determination is made at that time that the criteria for approval of a Zoning Map amendment established by the Zoning Ordinance are met. This Interim Land Use Plan maintains A-1 District zoning on all properties until a development application is submitted and related Zoning Map amendment is approved.

The B-3 District allows for a wide range of retail, service, and office uses that corresponds to the commercial land use designation described by the 2023 Comprehensive Plan. The retail store with minor auto repair and a separate motor fuel facility proposed for Lot 1, Block 1 are allowed uses within the B-3 District. Proposals for development of Lots 2 and 3, Block 1 will also be required to be allowed uses of the B-3 District.

Compliance with the zoning standards for development of Lot 1, Block 1 will be evaluated as part of the second phase of applications to be submitted by the developer, except where such analysis outlined in subsequent paragraphs aids in review of the current subdivision application.

Lot Area. Section 11-77-7.A of the Zoning Ordinance requires that lots within the B-3 District have a minimum area of one acre. Each of the three lots within the preliminary plat (Exhibit F, Sheet C1.3) have an area greater than one acre. The preliminary plat complies with the minimum lot area requirements of the Zoning Ordinance.

	Lot Area	
	Square Feet	Acres
Lot 1, Block 1	964,270sf.	22.14ac.
Lot 2, Block 1	56,889sf.	1.31ac.
Lot 3, Block 1	76,437sf.	1.75ac.

Lot Width. Section 11-77-7.B of the Zoning Ordinance requires that lots within the B-3 District have a minimum width of 200 feet, which is measured at the building setback at the front lot line.

	Lot Width
Lot 1, Block 1	500ft.
Lot 2, Block 1	160ft.
Lot 3, Block 1	200ft.

Lot 1 and Lot 3, Block 1 within the preliminary plat (Exhibit F, Sheet C1.3) have a width of at least 200 feet as defined by the Zoning Ordinance. Lot 2, Block 1 is 160 feet in width as defined by the Zoning Ordinance. Section 11-36-1 of the Zoning Ordinance allow deviation from the provisions of the Zoning Ordinance related lot area width by approval of a Conditional Use Permit to encourage an efficient use of land resulting in smaller networks of utilities and streets thereby lowering development costs and public investments resulting in a development pattern in harmony with the objectives of the Comprehensive Plan. With share circulation and access through with Lot 1 and 3, Block 1, the proposed width of Lot 2 is functional and has a reasonable building envelope. The preliminary plat complies with the minimum width requirements of the Zoning Ordinance as allowed with of a Conditional Use Permit for Lot 2, Block 1.

Setbacks. Section 11-77-7.C of the Zoning Ordinance requires the following minimum setbacks for each lot:

	Minimum Setback
Front	30ft.
Side	10ft.
Rear	20ft.

The applicable setback lines for principal and accessory buildings are illustrated on the preliminary plat (Exhibit F, Sheet C1.3). The structures illustrated on the preliminary site plan for Lot 1, Block 1 (Exhibit F, Sheet C2,1) comply with the setback requirements of the Zoning Ordinance. Lots 2 and 3, Block 1 have a reasonable building envelope within each lot for development of a use allowed within the B-3 District in compliance with required setbacks. The preliminary plat complies with the minimum setback requirements of the Zoning Ordinance.

Access. The subject site abuts 60th Street (CR 137), Maclver Avenue, and 63rd Street. The proposed development of the subject site is to utilize access to 60th Street (CR 137) via a three-quarter intersection at Lymon Avenue and right-in/right-out only access west of Lymon Avenue and also access to Maclver Avenue at Marlowe Avenue. No access is proposed to 63rd Street, which is a gravel rural section roadway entirely within the City of Albertville, due to the change in elevation between the roadway and the subject site.

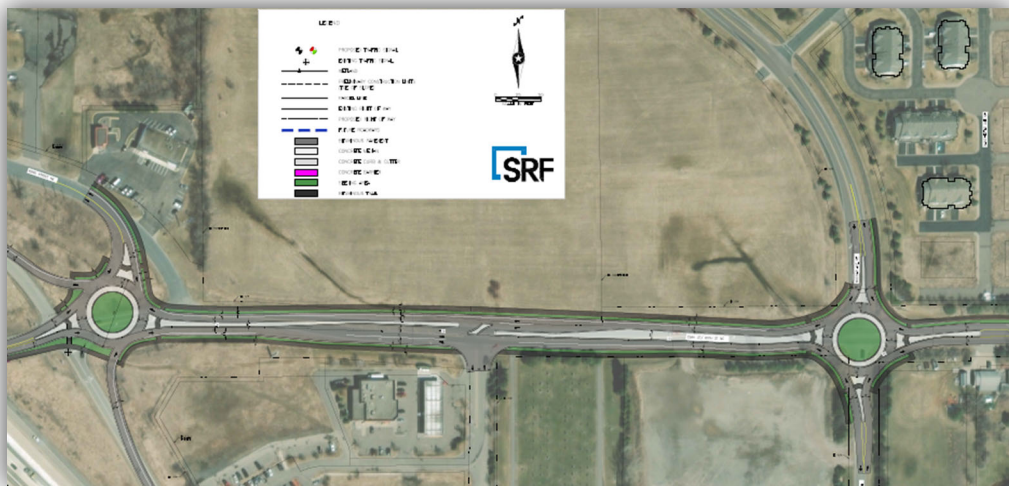
Loves's Travel Stops & Country Stores, Inc. (Love's) explored development of a truck stop upon the subject site in 2017. The proposed use would have required application for zoning and subdivision applications, including a Conditional Use Permit to allow the motor fuel facility. City staff was concerned about potential impacts to CR 137 and the I-94 interchange from the semi-tractor/trailer traffic generated by the proposed use, which is a criteria established by Section 11-4-2.F.4 of the Zoning Ordinance for approval of a Conditional Use Permit. City staff required Love's to pay for a traffic study to be completed as part of the information to be submitted for an application to consider the potential development in accordance with Section 11-9-6.E of the Zoning Ordinance.

The traffic study was completed on behalf of Wright County by SRF Consulting Group, Inc., which is the traffic engineer that had prepared the Wright County Long Range Transportation Plan. The conclusions of the Love's Travel Center Traffic Impact Study dated June 7, 2017 were that volume of the semi-tractor/trailer traffic generated by the proposed use would cause negative impacts due to a lack of vehicle stacking space for semi-tractor/trailers at the CSAH 37/Eastbound I-94 ramps and at CR 137/Lymon Avenue. Mitigating these impacts would cost millions of dollars and neither Wright County nor the City had programed improvements as part of their respective capital improvement programs. City staff advised Love's that we would recommend that the application be denied unless Love's agreed to complete necessary improvements to mitigate the traffic impacts identified by the Love's Travel Center Traffic Impact Study. Love's elected not to submit an application to the City to consider the proposed development.

Importantly, City staff had requested that the Love’s Travel Center Traffic Impact Study also evaluate the potential impacts of development of the subject site with retail shopping uses consistent with the guidance of the 2012 Otsego Comprehensive Plan to determine what mitigation measures may be needed to accommodate general commercial development of the subject site. The Love’s Travel Center Traffic Impact Study based this sensitivity test on development of the subject site as a 244,000 square foot shopping center using Institute of Traffic Engineers data. The retail use analysis concluded that improvements would only be required at the intersection of CR 137 and Lymon Avenue to accommodate left turning movements into the site; the functionality of the existing I-94 ramps or other intersections would not be considered to be negatively impacted.

The 2016 Wright County Long Range Transportation Plan (Exhibit D) identifies 60th Street (CR 137) as a Major Collector Road intended to carry traffic from Otsego, St. Michael and Albertville to and from I-94. Wright County, together with the Cities of Otsego and Albertville, is planning reconstruction of 60th Street (CR 137) from I-94 to Marx Avenue in 2025. This construction program is being undertaken in accordance with the Wright County 5-Year Capital Improvement Plan and separate from any specific development, but the planning reflects the land uses guided by the Comprehensive Plans adopted by Otsego, Albertville, as well as St. Michael for existing and future land uses and resulting traffic generation. The Wright County improvement project is funded as part of Wright County’s budget with local shares paid by Otsego and Albertville based on established Wright County policy for intersections with local streets, adjacent trails, stormwater management, and amenities such as street lighting or landscaping. Otsego’s 2023 Capital Improvement Plan includes funding for the City’s share of the Wright County 60th Street (CR 137) improvement project.

The proposed 60th Street (CR 137) improvements, shown in the preliminary design below, and on the submitted plans (Exhibit F) include roundabouts at the I-94 ramps and MacIver Avenue with a three-quarter intersection at Lymon Avenue. Wright County and Albertville are working with Mn/DoT to include a roundabout at the eastbound I-94 interchange ramps as well.



A three-quarter intersection will allow left turns from 60th Street (CR 137) to the subject site and to southbound Lymon Avenue. There would be no left turn from the subject site to eastbound 60th Street (CR 137) or from northbound Lymon Avenue to westbound (CR 137). Vehicles wanting to make these left turn movements would need to turn right and utilize the roundabouts to reverse course to the intended direction similar to the right-in/right-out access to Coborn's at 90th Street (CSAH 39). The developer is proposing a right-in/right-out only to 60th Street (CR 137) west of the Lymon Avenue intersection. The developer's intent is that this intersection would allow traffic accessing the potential future businesses on Lots 2 and 3, Block 1 to bypass the Lymon Avenue access and avoid mixing with Costco traffic. The proposed right-in/right-out intersection would also provide a second outlet for traffic from Costco (as well as the uses on Lots 2 and 3, Block 1) to 60th Street (CR 137).

The preliminary plat is subject to review and approval of Wright County and that review would include evaluation of the capacity of 60th (CR 137), intersection spacing and design, property access, and right-of-way dedication for the ultimate roadway and off-street trail designs based on the functional classification designation established by the Wright County Long Range Transportation Plan. The developer has provided trip generation information regarding the planned uses of Lot 1, Block 1 based on other Costco locations, as well as estimates for development of Lots 2 and 3, Block 1. Discussions between Wright County staff, City staff, and the developer are that there is sufficient capacity planned with the improvements to 60th Street (CR 137) to accommodate the proposed development. Wright County will be working with their traffic engineering consultant designing the 60th Street (CR 137) improvement project and the developer to finalize the plans for the roadway relative to any increase in traffic attributed to the development.

The Otsego Transportation Plan (Exhibit E) designates Maclver Avenue as a Residential Collector Street that is constructed to Minnesota State Aid standards with a planned capacity of 12,000 to 15,000 average daily trips or a peak hour of 1,800 vehicles. Maclver Avenue currently is constructed a distance of 2.5 miles between 60th Street (CR 137) and 85th Street and is planned to be extended north in the future to 90th Street (CSAH 39) as residential development expands north of the existing West Sewer District in accordance with the 2023 Comprehensive Plan. The roadway exists as an urban two-lane street with paved shoulders and a 10-foot wide trail on the east side. The most recent traffic surveys for Maclver Avenue in 2021 indicate volumes of 3,783 vehicles per day, which is well below the capacity of the street.

The submitted plans propose that the Maclver Avenue and Marlowe Avenue intersection be improved to provide for left and right turn lanes from both directions of Maclver Avenue to Marlow Avenue and the proposed development with stop signs only for traffic entering or crossing Maclver Avenue. Based on the traffic information provided by the developer, the City Engineer has determined that there is adequate existing and planned capacity within Maclver Avenue to accommodate the traffic generated by the proposed development.

The City Engineer has further evaluated the potential impact of the development to the Maclver Avenue and Marlowe Avenue intersection finding only that the Level of Service (LOS) for a left turn from westbound Marlowe Avenue to southbound Maclver Avenue would be delayed to a minor degree causing a decrease in the level of service from LOS B to LOS C. The developer will be required as part of the development application for Lot 1, Block 1 to provide additional analysis of potential mitigation options to mitigate the traffic impacts to the operation of the Maclver Avenue and Marlowe Avenue intersection. Options to be evaluated, subject to review and approval of the City Engineer, include implementation of a four-way stop at the Maclver Avenue and Marlowe Avenue intersection or reconstruction of the intersection as a roundabout.

Any costs for improvements to the intersection required to mitigate traffic impacts to Maclver Avenue attributable to the proposed development will be the responsibility of the developer. All plans related to Maclver Avenue and access to the subject site are to be subject to review and approval of the City Engineer.

Trails. The Future Parks and Trails Plan directs construction of a trail along the north side of 60th Street (CR 137) from the border with Albertville east to Maclver Avenue (2023 Otsego Comprehensive Plan, page 78). The 60th Street (CR 137) improvement project will include construction of a 10-foot trail on the north side of 60th Street (CR 137) from the roundabout at the westbound I-94 ramps extending east to Marx Avenue, including the section of the roadway abutting the subject site. The trail will be constructed by Wright County as part of its improvement project with the cost being the responsibility of the City and developer through a Development Contract executed at the time of final plat approval. City staff does not recommend construction of a trail along the west side of Maclver Avenue abutting the subject site.

There will also be a pedestrian crossing provided from the existing trail on the east side of Maclver Avenue to the subject site at Marlowe Avenue. Plans for pedestrian connections within the subject site from Maclver Avenue will be evaluated as part of the subsequent site development plans for Lot 1, Block 1. The cost for the pedestrian facilities at the Maclver Avenue and Marlowe Avenue intersection and those within the subject site are the responsibility of the developer.

Off-Street Parking. The Zoning Ordinance requires provision of a minimum number of off-street parking stalls for businesses based on studies completed by the Institute of Transportation Engineers and other sources. The purpose of requiring a minimum number of off-street parking stalls, together with minimum dimension requirements for stalls and drive aisles, is to ensure that there is sufficient area and circulation within a commercial site to meet parking demand and avoid causing congestion on adjacent public streets.

The preliminary site plan (Exhibit F, Sheet C2.1) for Lot 1, Block 1 illustrates a proposed 163,474 square foot retail store that includes a five-bay minor auto repair use for tire services and oil changes. Section 11-21-8 of the Zoning Ordinance requires that retail and minor auto repair uses provide one parking stall per 200 square feet of net floor area (90 percent of gross floor area). The number of off-street parking stalls required by the Zoning Ordinance is 736. The preliminary site plan illustrates 950 off-street parking stalls within Lot 1, Block 1, which equates to one parking stall for each 173 gross square feet of building area.

For comparison, the Target store and attached in-line retail spaces within the Great River Centre of Otsego development has 1,010 parking stalls for 212,190 gross square feet of building area equal to 1 stall per 210 square feet. The supply of off-street parking stalls within Lot 1, Block 1 greatly exceeds the requirements of the Zoning Ordinance. Furthermore, Costco has indicated their intent to retain ownership of Lots 2 and 3, Block 1 until their store is established and they are satisfied that there are an adequate number of parking stalls within Lot 1, Block 1 to meet demand.

Parking stalls shown on the preliminary site plan (Exhibit F, Sheet C2.1) are designed as 10 feet wide by 20 feet deep accessed by drive aisles that are a minimum of 24 feet wide. The dimensions of the parking area complies with the provisions of Section 11-21-7.B of the Zoning Ordinance.

The number and design of the off-street parking stalls and drive aisles within Lot 1, Block 1 as shown on the preliminary site plan (Exhibit F, Sheet C2.1) comply with the Zoning Ordinance, which will avoid concerns of parking demand causing congestion on 60th Street (CR 137) and Maclver Avenue.

Loading. As with off-street parking, the Zoning Ordinance includes provisions requiring that loading areas be addressed through site design to avoid causing congestion on public streets. The developer has provided turning movements for semi-tractor/trailer vehicles delivering goods to the retail store and motor fuel facility within Lot 1, Block 1. All vehicles will enter the site from the 60th Street (CR 137) and Lymon Avenue intersections. Semi/tractor trailers delivering to the retail store are to exit Lot 1, Block 1 to 60th Street (CR 137). Semi-tractor/trailers delivering fuel to the motor fuel facility will exit via a right turn onto Maclver Avenue and traveling south to 60th Street CR 137. The proposed semi-tractor/trailer access for deliveries for the uses within Lot 1, Block 1 are functional and minimize use of Maclver Avenue to avoid conflicts with consumer and residential traffic on that street.

Stormwater Management. The submitted plans include information regarding grading, drainage, and erosion control (Exhibit F, Sheets C3.1-5).

City and Minnesota Pollution Control Agency standards establish that the volume of stormwater runoff discharged from the subject site after development cannot exceed pre-development conditions. There are also specific performance standards required for the proposed motor fuel facility that require additional storage and treatment of stormwater runoff from that area of the subject site to prevent contaminants from entering the stormwater system.

The preliminary grading plan (Exhibit F, Sheets C3.1-3) illustrates construction of stormwater basins at the southeast corner of the plat with graded drainage swales to the west adjacent to 60th Street (CR 137) channeling stormwater into these basins. With the urbanization of the 60th Street (CR 137) roadway corridor as part of the Wright County improvement project, the movement of stormwater across Lots 2 and 3, Block 1 and the motor fuel facility will be required to be accomplished through stormwater pipe versus open ditches. This modification of the grading plan will also allow for greater separation of the trail along 60th Street (CR 137) from the traffic lanes.

All stormwater management, grading, drainage, wetland impacts, and erosion control issues are to be subject to review and approval by the City Engineer.

The developer will be required to post a security with a Development Contract executed concurrent with final plat approval for installation of erosion control, completion of site grading and construction of stormwater facilities, and site stabilization.

The proposed development requires payment of a stormwater impact fee for Otsego Creek at the time of final plat approval based on the gross area of the subject site and the Fee Schedule then in effect.

Utilities. The proposed preliminary plat is within the West Sewer District established by the 2023 Comprehensive Plan. Sewer and water utilities are available at the property and the developer has submitted plans for construction of sewer and water lines for service to the proposed lots. The utility plan will (Exhibit F, Sheets C4.1-5) include upgrade of an existing 8-inch water pipe located within Marlowe Avenue east of Maclver Avenue to a 12-inch pipe to provide necessary waterflow for the proposed development. Construction of the water main upgrade will be timed to coincide with the Wright County CR 137 improvement project when this street would be closed to traffic already. All utility plans are subject to review and approval of the City Engineer.

The developer is responsible for the cost of construction for sewer and water utilities necessary to serve the proposed development. The City will provide a credit for the cost of construction for any facilities determined by the City Engineer to be trunk facilities. The developer will be required to post a security as part of a Development Contract executed concurrent with final plat approval for completion of site grading and construction of stormwater facilities.

The developer will be required to pay Utility Availability Charges at the time of final plat approval in accordance with the City Code and City fee schedule in effect at that time, which fund the construction of the trunk portion of the sewer collection and water distribution utility systems. Utility Connection Charges for each lot will be required to be paid at the time a building permit is issued to fund construction of the operational facilities of the sewer and water systems, also in accordance with the City Code and City fee schedule in effect at that time. Operation of the sewer and water utility systems is funded by user fees.

Easements. Section 10-8-12 of the Subdivision Ordinance requires establishment of drainage and utility easements at the perimeter of each lot, over public utility lines, and regional stormwater drainage facilities. The proposed preliminary plat (Exhibit F, Sheet C1.3) illustrates proposed easements, which are subject to review and approval of the City Engineer. Any existing drainage and utility easements within the subject site will be vacated concurrent with the approval of the final plat as they no longer serve a public purpose.

Park Dedication. Section 11-8-15 of the Subdivision Ordinance establishes provisions for dedication of land for public park purposes as part of the development process. The Park System Master Plan does not identify acquisition of land for City parks within the area of the subject site. As such, park dedication requirements are to be satisfied as a cash fee in lieu of land as provided for by Section 11-8-15.I of the Subdivision Ordinance. The park dedication fee is to be calculated and paid at the time of final plat approval.

Criteria. The Planning Commission is to consider the submitted applications in context of the criteria established by Section 11-3-2.F of the Zoning Ordinance for the requested Zoning Map amendment and Section 11-4-2.F of the Zoning Ordinance for the requested Conditional Use Permit. The developer has provided their own response to these criteria as outlined in their narrative (Exhibit B). The recommendation of the Planning Commission to the City Council regarding the proposed Zoning Map amendment and preliminary plat is to be based upon, but not limited to, the following comments prepared by City staff:

1. The proposed action's consistency with the specific policies and provisions of the Otsego *Comprehensive Plan*.

Comment: The subject site is guided for future Commercial land uses by the Future Land Use Plan (2023 Otsego Comprehensive Plan, p. 71). The 2023 Comprehensive Plan includes policies for development of Commercial land uses, including:

- *Encourage commercial development to provide needed goods and services, create employment opportunities, and expand the tax base within Otsego.*
- *Promote commercial development in areas with accessibility to TH 101 corridor, I-94, and Labeaux Avenue (CSAH 19) as the primary focus for commercial uses within Otsego. (2023 Otsego Comprehensive Plan, page 59)*

The 2023 Comprehensive Plan specifically describes the subject site as suitable for a large regional retail business with pad sites for smaller restaurant, retail, or service business such as may be developed upon the lots proposed by the preliminary plat (2023 Otsego Comprehensive Plan, pages 62-63). The proposed preliminary plat is consistent with the goals, policies, and plans of the 2023 Comprehensive Plan.

2. The proposed use's compatibility with present and future land uses of the area.

Comment: The subject site is the west edge of an area of commercial and industrial development adjacent to I-94 with access served by an interchange at CSAH 37. Maclver Avenue functions as the east boundary of this commercial and industrial area transitioning to Medium-to-High Density Residential land uses to the east. The proposed subdivision of the property for commercial land uses is consistent with recommended land use concepts (2023 Comprehensive Plan, page 25) and compatible with the existing and planned land uses in the area.

3. The proposed use's conformity with all performance standards contained within the Zoning Ordinance and other provisions of the City Code.

Comment: The proposed preliminary plat complies with the requirements of the Zoning Ordinance, Subdivision Ordinance, and Engineering Manual.

4. Traffic generation of the proposed use in relation to capabilities of streets serving the property.

Comment: The subject site will be accessed via 60th Street (CR 137) designated as a Major Collector Road by the 2016 Wright County Long Range Transportation Plan (2016 Wright County Long Range Transportation Plan, Figure 5-2) and Maclver Avenue designated as a Residential Collector Street by the 2023 Otsego Comprehensive Plan (Otsego Comprehensive Plan, page 87). Wright County will undertake an improvement project in 2025 for 60th Street (CR 137) that will provide capacity for regional traffic, including that generated by the proposed development. Maclver Avenue has existing capacity to accommodate traffic generated by the proposed development subject to the developer completing those improvements to the Maclver Avenue and Marlowe Avenue intersection as determined to be required by the City Engineer.

5. The proposed use can be accommodated by existing public services and facilities and will not overburden the City's service capacity.

Comment: The subject site is within the West Sewer District established by the 2023 Comprehensive Plan (2023 Otsego Comprehensive Plan, p 39). The Sewer District is that area of Otsego where City sewer and water utilities and transportation infrastructure is to be constructed in support of the land uses guided by the Future Land Use Plan. There is sufficient capacity within existing public services and facilities to accommodate the proposed development.

Final Plat. Following approval of a preliminary plat, the developer has one year to apply for approval of a final plat in accordance with Minnesota Statutes 462.356, Subd. 3c. The developer may request an extension to file application for final plat approval, which is subject to approval of the City Council.

Development Contract. The City Attorney will prepare a Development Contract related to a final plat to provide for completion of all public improvements, establishment of required securities, and payment of applicable fees in accordance with Section 10-10-4.A of the Subdivision Ordinance. The Development Contract is to be executed by the developer and approved by resolution of the City Council concurrent with consideration of the final plat.

Other Information. Development of Lot 1, Block 1 will require zoning applications as outlined in previous paragraphs. These applications will require the developer to submit additional plans as listed in Section 11-9-6 of the Zoning Ordinance for review by City staff and the Planning Commission and approval of the City Council, including but not limited to the following:

- A plan for exterior lighting detailing the location, type, height, and illumination pattern and intensity of all fixtures to comply with the requirements of Section 11-16-6 of the Zoning Ordinance.
- Architectural plans for principal and accessory structures detailing the type, color, and exterior materials subject compliance with the requirements of Section 11-17-4 of the Zoning Ordinance.
- A landscape plan that complies with the requirements of Section 11-19-2 and Section 11-19-3 of the Zoning Ordinance for general plantings and screening of the proposed commercial use.
- A plan for all freestanding and wall signs to be installed upon the property in compliance with Chapter 37 of the Zoning Ordinance.
- A site plan identifying any outdoor sales areas as regulated by Section 11-77-4.A of the Zoning Ordinance.

- Those plans necessary to demonstrate compliance with the performance standards for minor auto repair outlined by Section 11-77-6.G of the Zoning Ordinance.
- Those plans necessary to demonstrate compliance with the performance standards for motor fuel facilities set forth by Section 11-77-6.H of the Zoning Ordinance.
- Other information as requested by City staff, the Planning Commission, and/or the City Council.

RECOMMENDATION

The requested Zoning Map amendment and preliminary plat for subdivision of the 25.41 acre property at the northwest quadrant of 60th Street (CR 137) and Maclver Avenue is consistent with the growth management, economic development, and land use policies of the 2023 Otsego Comprehensive Plan to provide for development of a commercial area serving regional and local markets served by infrastructure planned to accommodate such development. Moreover, the proposed preliminary plat complies with the performance standards and criteria established by the Zoning Ordinance and Subdivision Ordinance.

Further review and evaluation as to development of Lot 1, Block 1 with a Costco retail store with minor auto repair and a separate accessory motor fuel facility will occur as part of required applications for zoning approvals necessary to allow for the proposed uses. This review will include opportunity for public questions and comments as part of the public hearing required with processing of Conditional Use Permit applications. More detail regarding internal site improvements and functionality will be presented through the plans required by the Zoning Ordinance to be submitted in support of these zoning applications.

Our office recommends approval of the requested Zoning Map amendment, preliminary plat, Conditional Use Permit allowing for proposed minimum lot width and shared access to public streets for lots within the preliminary plat, and vacation of existing drainage and utility easements subject to the stipulations outlined under possible actions, below.

POSSIBLE ACTIONS

- A. Motion to recommend **approval** of the application of Costco Wholesale Corporation for a Zoning Map amendment; preliminary plat; Conditional Use Permit allowing proposed minimum lot width and shared access to public streets; and vacation of existing drainage and utility easements, subject to the following conditions:
 1. The preliminary plat shall be valid for one year from the date of approval in accordance with Minnesota Statutes 462.356, Subd. 3c unless extended by the City Council.

2. Approval of the preliminary plat shall not guarantee access to sanitary sewer service; the City shall only allocate sanitary sewer capacity to approved final plats with signed development contracts to assure the City of timely development.
3. Right-of-way dedication, road and pedestrian improvements required to accommodate traffic generated by the proposed development, and access from the proposed development, and access to 60th Street (CR 137) shall be subject to review of the City Engineer and approval of Wright County.
4. Right-of-way dedication, street and pedestrian improvements required to accommodate traffic generated by the proposed development, and access from the proposed development to Maclver Avenue shall be subject to review and approval of the City Engineer.
5. An ingress/egress and cross parking easement approved by the Zoning Administrator shall be recorded over Lots 1-3, Block 1 concurrent with recording of a final plat.
6. All utility plans shall be subject to review and approval of the City Engineer.
7. Utility Availability Charges shall be paid at the time of final plat approval in accordance with the City Code and City Fee Schedule then in effect less any credits for trunk improvements as determined by the City Engineer.
8. Utility Connection Charges shall be paid at the time a building permit is issued for construction within each lot of the preliminary plat in accordance with the City Code and City Fee Schedule then in effect.
9. All stormwater management, grading, wetland impacts, and erosion control plans and issues shall be subject to review and approval of the City Engineer.
10. Stormwater Impact Fees for Otsego Creek shall be paid at the time of final plat approval as required by the City Code and City Fee Schedule then in effect.
11. All drainage and utility easements shall be subject to review and approval of the City Engineer.
12. A cash fee shall be calculated and paid at the time of final plat approval in lieu of land dedication for City park purposes in accordance with the Subdivision Ordinance.

13. A Development Contract shall be executed by the developer and approved by resolution of the City Council concurrent with the final plat in accordance with Section 10-10-4.A of the Subdivision Ordinance.

- B. Motion to recommend the application be **denied** based on a finding that the request is inconsistent with the Comprehensive Plan and intent of the Zoning Ordinance.

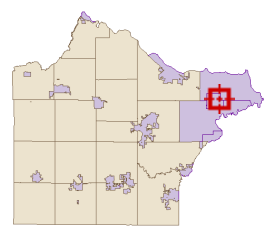
- C. Motion to **table**.

- c. Adam Flaherty, City Administrator/Finance Director
Audra Etzel, City Clerk
Ron Wagner, City Engineer
David Kendall, City Attorney
Chad Hausmann, Wright County Engineer
Sara Buermann, Assistant Wright County Engineer

Site Location Map



Overview



Legend

- Roads**
 - CSAHCL
 - CTYCL
 - MUNICL
 - PRIVATECL
 - TWPCCL
- Highways**
 - Interstate
 - State Hwy
 - US Hwy
- City/Township Limits**
 - c
 - t
- Parcels
- Torrens

COSTCO WHOLESALE CORPORATION

APPLICATION FOR REZONING & PRELIMINARY PLAT APPROVALS

PROPOSED COSTCO WHOLESALE
CITY OF OTSEGO , MINNESOTA



January 8, 2024

EXHIBIT B

TABLE OF CONTENTS

NARRATIVE

- 1.0 Property Owner and Project Team
- 2.0 Introduction and Subject Property
 - Zoning & Comprehensive Plan
 - Conditional Use Permit
- 3.0 Development Plan Proposal
 - Traffic / Roadway Improvements
 - Utility and Stormwater Improvements
 - Operations
 - Employees

PROPOSED COSTCO WHOLESALE

CITY OF OTSEGO, MINNESOTA

1.0 Property Owner and Project Team

Property Owner: **Mr. David Eide**
Delta Echo , LLC
Trustee & Chief Manager
Minnesota

Contract Purchaser: **Costco Wholesale Corporation**
730 Lake Drive
Issaquah, WA 98027

Costco Real Estate
Development: **Eric Orren, Vice President of Real Estate Development**
Costco Wholesale Corporation
730 Lake Drive
Issaquah, WA 98027

Real Estate Consultant: **Michael Stratis, Senior Vice President & Counsel**
Intrepid Properties, Inc.
2311 W. 22nd Street, Suite 208
Oak Brook, IL 60523

Development Director: **Stephen Cross, Authorized Costco Representative**
President
Cross Engineering & Associates, Inc.
1955 Raymond Drive, Suite 119
Northbrook, IL 60062

Architect: **Risa Yuki, Principal**
MG2
1101 Second Avenue, Suite 100
Seattle, WA 98101

Engineer, Surveyor: **Tom Meyer, P.E., Project Manager**
Landform Professional Services, LLC
105 South Fifth Avenue
Minneapolis, MN 55401

Traffic Consultant: **Adam Burghdoff, Principal**
Kittelsohn & Associates, Inc.
225 East Robinson Street, Suite 355
Orlando, FL 32801

PROPOSED COSTCO WHOLESALE

CITY OF OTSEGO, MINNESOTA

2.0 Introduction and Subject Property

Costco Wholesale Corporation operates an international chain of membership retail buildings that carry quality, brand-name merchandise to members at lower prices than are typically found at conventional wholesale or retail sources. Costco's business model also provides assistance to local small to medium -size businesses by offering reduced costs in purchasing for resale and for everyday business use.

Costco retail presents one of the largest product category selections to be found under a single roof. Categories include groceries, candy, appliances, electronics, automotive supplies, tires, toys, hardware, sporting goods, jewelry, watches, cameras, books, housewares, apparel, health and beauty aids, furniture, office supplies, and office equipment. Costco is known for carrying top quality national and regional brands, with a 100% satisfaction guarantee, at prices consistently below traditional wholesale or retail outlets.

Members may also shop for private label Kirkland Signature™ products, designed to be of equal or better quality than national brands, including juice, cookies, coffee, housewares, luggage, clothing, and detergent. Additionally, Costco operates self-service gasoline stations, and car washes at a number of its locations.

Costco Founded in 1983

Costco Wholesale Corporation (Costco) began operations in 1983 in Seattle. In October 1993, Costco merged with The Price Company, which pioneered the membership warehouse concept in 1976. In January 1997, after the spin-off of most of its non-warehouse assets to Price Enterprises, Inc., the Company changed its name to Costco Wholesale Corporation, which trades under the NASDAQ symbol "COST."

Costco continues to be an industry leader in terms of service, quality, value, and innovation. Costco has grown to become, in terms of sales, the second-largest Global retailer and the largest operator of membership clubs worldwide.

Costco has a significant retail presence in the greater Minneapolis / St. Paul area. Costco Otsego would be the 13th store to open in the great state of Minnesota. The closest Costco location to the proposed Otsego trade area is Coon Rapids, approximately fifteen miles to the southeast along US route 10.

Costco has entered into an agreement with Delta Echo, LLC to purchase approximately 25 acres located at the northwest corner of Maciver Avenue NE and 60th Street NE in the City of Otsego in order to develop a members only retail store and free-standing fueling

facility (See Exhibit 2- ALTA Land Title Survey & Exhibit 3-Site Context Plan with Aerial Photo).

To construct the Costco retail and fueling facility as proposed in the Site Development Plans, the Property will be rezoned from Agriculture to B-3 General Business District to allow a commercial land use to exist and operate on the property. The Costco development and fueling facility will be developed on approximately 19.5 acres (Lot 1) with approximately 3 acres allocated for two perimeter outlots, (Lot 2 & Lot 3) along 60th Street NE (CR 137) and approximately 3 acres planned for stormwater management located at the southeast corner of the Property. (See Exhibit 4-Preliminary Site Plan & Exhibit 4-Preliminary Plat)

Zoning:

The Property is currently zoned A-1, Agricultural-Rural Service District. In order to develop the Property with a commercial land use, the Property will be rezoned to B-3, General Business District. A Zoning Map amendment will be requested to modify the City of Otsego's Official Zoning Map. The B-3 zoning district permits retail sales, with certain accessory uses that will allow Costco to fully operate their business. Costco's business is completely retail in nature and meets the intent and standards of the B-3 zoning district. (See Exhibit 1, Map Amendment)

Comprehensive Plan:

The commercial land use is consistent with the Future Land Use Plan which designates this property as Commercial. The proposed rezoning will promote certain comprehensive plan policies such as "encouraging commercial development to provide needed goods and services, create employment opportunities, and expand the tax base within Otsego," and "promote commercial development in areas with accessibility to I-94", a principal arterial roadway system. Costco offers a high-quality retail experience and furthermore promotes Comprehensive Plan policies that "encourage high quality development through architectural standards and landscaping within commercial areas." The Comprehensive Plan describes the Property as a "commercial location with excellent visibility and access from I-94 as well as serving as a gateway for residential neighborhoods accessible from Maciver Avenue NE".

The proposed Site Development Plans will require certain Conditional Use Permits to operate the fueling facility and tire repair center. Additional Conditional Use Permits will be requested for Costco's building wall signage, height of light poles throughout the parking lot, and certain building and architectural design features. The requested Conditional Uses are commonly associated with commercial developments and are allowed under the B-3 zoning district with the issuance of a permit. The site plan will conform to the required parking and building setbacks, minimum lot size and permitted building height.

The entitlement for the property will occur in a 2-step process. Costco is submitting applications for a rezoning and preliminary plat approval as step -1. Step-2 will consist of applications for a Conditional Use Permit and Final Plat approvals. This entitlement process will require public hearings before the Plan Commission and City Council for final action and approvals.

3.0 Development Plan Proposal

The goal of the proposed Development Plan is to develop the Property (Lot 1) with a Costco retail building and free-standing fueling facility. The proposed Costco building will be approximately 164,148 square feet and the overall site plan will provide for approximately 933 parking stalls. (*See Exhibit 4- Preliminary Site Plan*) The parking count will provide a ratio of 5.69 stalls per 1,000 square feet of building area, which provides sufficient parking based on Costco's anticipated member use.

The Costco site will be accessed from 60th Street NE from the south side of the property, and Maciver Avenue NE from the east side of the property. Two access driveways along 60th Street have been designed to enter and exit the Costco site, subject to County approval. A three-quarter access is planned at the intersection of 60th Street and Lymon Avenue, and a right-in / right-out has been planned between Lot 2 and Lot 3. The east entrance into the Property will align with Marlowe Street. Parking has been efficiently distributed around the east and south sides of the warehouse to maximize convenient parking spaces proximate to the customer entrance and exit located at the southeast corner of the building. The parking and internal drives are buffered from surrounding land uses by generous setbacks from property lines, stormwater management areas, and planted buffer yards that include a rich mixture of evergreen, shade, and ornamental trees. The eastern boundary of the Costco property along Maciver Avenue has been planned for a landscape buffer that will serve as an effective screen and separation between Costco's commercial use and existing residential development located to the east. Existing mature evergreen and deciduous trees along Maciver Avenue NE will be preserved and incorporated into the landscape plan. (*See Exhibit 6-Preliminary Landscape Plan*)

The Site Development plans will include a pedestrian connection to the proposed bike trail along 60th Street NE. This walk will allow pedestrians to gain direct access to the store entrance from a public road. Costco will coordinate this walk connection with the County.

The fuel facility location within the Costco site has been planned southeast of the warehouse with direct access from the perimeter east-west internal drive. The facility is buffered from adjacent land uses by landscape setbacks to the south and a large

stormwater basin, berm, and dense landscape screen to the east. The traffic flow will move through the facility in the easterly direction and exit directly onto a main east - west vehicular drive aisle that provides access to the main parking lot. It is anticipated that 60-65% of the members visiting the warehouse will also purchase gasoline during the same site visit.

The remaining property will be developed for two additional lots along 60th Street NE. Lot 2 will consist of a ±1.66-acre parcel and Lot 3 will consist of a ±1.38-acre parcel. It is intended that the lots will be marketed and sold for future commercial uses permitted in the B-3 zoning district. Future retail development on both lots will be carefully considered by Costco to ensure compatibility with Costco's operations and the City of Otsego's Comprehensive Plan and overall objective for the B-3 zoning district. (*See Exhibit 5- Preliminary Plat*)

Traffic/Roadway Improvements:

The property will be accessible by two major collector roadway systems. Wright County is proposing to improve 60th Street NE with two round -abouts located just east of I-94 at the off/ on-ramp and at the Maciver Avenue NE and 60th Street NE intersection. The proposed roundabouts and roadway improvements will improve the traffic patterns south of the Property and will accommodate future developments in the area.

The Maciver Avenue NE and Marlowe Street intersection will be improved to provide a full access intersection with a dedicated left turn lane for movements west into the Costco Property. (*See Exhibit 6-Preliminary Engineering Plans*)

Utility and Stormwater Improvements:

The proposed development will connect to the existing watermain and sanitary sewer which are stubbed into the Property at the intersection of Maciver Avenue NE and Marlowe Avenue. Water and sewer stubs will be provided to the outlots for future connections. Public water main will be looped around the building.

Existing stormwater drains across the site from northwest to southeast and discharges through an existing 24" culvert under 60th Street NE. The proposed development includes a large stormwater pond in the southeast corner of the site to provide water quality treatment and rate control before discharging through the existing 24" culvert. A network of storm sewer pipe within the development will convey stormwater to the detention pond. The detention pond will be designed to retain water and will serve as an attractive amenity at the southeast corner of the Property. (*See Exhibit 6-Preliminary Engineering Plans*)

Operations:

The site has been deigned with the building located at the northwest corner of the site, and as such the loading dock is located at the southwest corner of the building, with easy ingress and egress onto 60th Street NE. Apart from local vendors/suppliers and delivery services such as UPS or Fedex, all deliveries to the warehouse are controlled by Costco and most deliveries are completed during the morning hours, prior to the store opening.

The anticipated warehouse and fueling facility operation hours are as follows:

<u>Days</u>	<u>Warehouse</u>	<u>Fuel</u>
Monday-Friday	10:00 am - 8:30 pm	6:00 am - 9:00 pm
Saturday	9:30 am - 6:00 pm	7:00 am - 7:00 pm
Sunday	10:00 am - 6:00 pm	7:00 am - 7:00 pm

It is anticipated that the Costco opening will coincide with the 60th Street NE roadway improvements that are being constructed by the County.

Employees:

Costco takes pride in their employees and provides an excellent benefit package that includes, yet not limited to: medical, dental, vision, pharmacy, life insurance disability, long term care, employee stock purchase program, paid holidays, college student retention program, 401(k). Part-time employees working more than 23 hours per week are also eligible for core benefits (medical, dental and vacation benefits) after 6 months of employment. Currently, 91% of U.S. employees are eligible for the above benefits. On a local level, Costco recruits primarily within the community where it is located, and their objective is to hire promotable employees who have a desire to build a career. A typical warehouse employs upon opening approximately 150 to 200 employees with the ratio of part-time/full-time of 50% each. Costco pays among the highest hourly wages in the industry. Due to their philosophy that Costco's employees are just as important as their customers, they experience a low turnover rate with only 13% within the first year and only 7% turnover after one year.



CROSS ENGINEERING & ASSOCIATES, INC.

EXHIBIT 1-MAP AMENDMENT

The Costco development will require a rezoning of the Property from A-1, Agricultural Rural Service Area to B-3-General Business District. Costco respectfully requests that a map amendment be made to the official City of Otsego Zoning Map to rezone the Subject Property. The requested rezoning complies with Chapter 3, Administration-Amendments (Text and Map); 11-3-2; Procedure; F. The Planning Commission and City Council shall consider possible adverse effects of the proposed amendment. Their judgement shall be based upon(but not limited to) the following factors:

1) **The proposed action's consistency with the specific policies and provisions of the City Comprehensive Plan.**

Response: The Costco development is consistent with the City of Otsego's 2023 Comprehensive Plan's Future Land Use Plan as the plan designates this Property as Commercial. The proposed rezoning will promote certain comprehensive plan policies such as" encouraging commercial development to provide needed goods and services , create employment opportunities, and expand the tax base within Otsego", and " promote commercial development in areas with accessibility to I-94", a principal arterial roadway system. Costco offers a high-quality retail experience and furthermore promotes Comprehensive Plan policies that "encourage high quality development through architectural standards and landscaping within commercial areas". The Comprehensive Plan describes the Subject property as a "commercial location with excellent visibility and access from 1-94 as well as serving as a gateway for residential neighborhoods accessible from Maciver Avenue NE". Costco's prosperous business will only encourage the orderly redevelopment of nearby properties and serve to strengthen and reinforce existing ongoing commercial land use patterns within areas of the City of Otsego.

2) The proposed use's compatibility with present and future land uses of the area.

Response: The proposed commercial use for the Property serves as a transitional land use between I-94 and the multiple family residential located east of Maciver Avenue NE. Costco developments are commonly located between higher and medium land use intensities to serve as an effective orderly transition given the retail nature of Costco's business. The proposed land use is consistent with the goals and objectives of the Comprehensive Plan for this area and will be compatible with future commercial and industrial land uses in the nearby City of Albertville. The Costco Development will serve as the catalyst for future development in the area by providing high quality, and attractive retail as an alternative shopping experience to the residents of Otsego and neighboring communities.

3) The proposed use's conformity with all performance standards contained within this title and other provisions of this Code.

Response: The Costco Development will conform with the B-3 Zoning District regulations, land use and bulk standard and will promote the general purpose and intent of the zoning code by providing a safe, aesthetically pleasing orderly pattern of land use while contributing to the general welfare of the neighborhood.

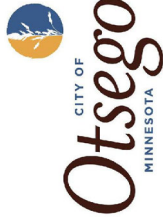
4) Traffic generation of the proposed use in relation to capabilities of streets serving the property.

Response: The proposed location for the Costco development has immediate access to major arterial and collector roadway systems. 60th Street NE, and Maciver Avenue NE are two major collector streets that will be able to accommodate anticipated Costco traffic volumes safely and efficiently. The location of the Property to I-94, a major arterial roadway, will provide direct access to and from the Property from neighboring communities without placing an undue burden on local roadway systems. Additionally, the County is proposing roadway improvements on

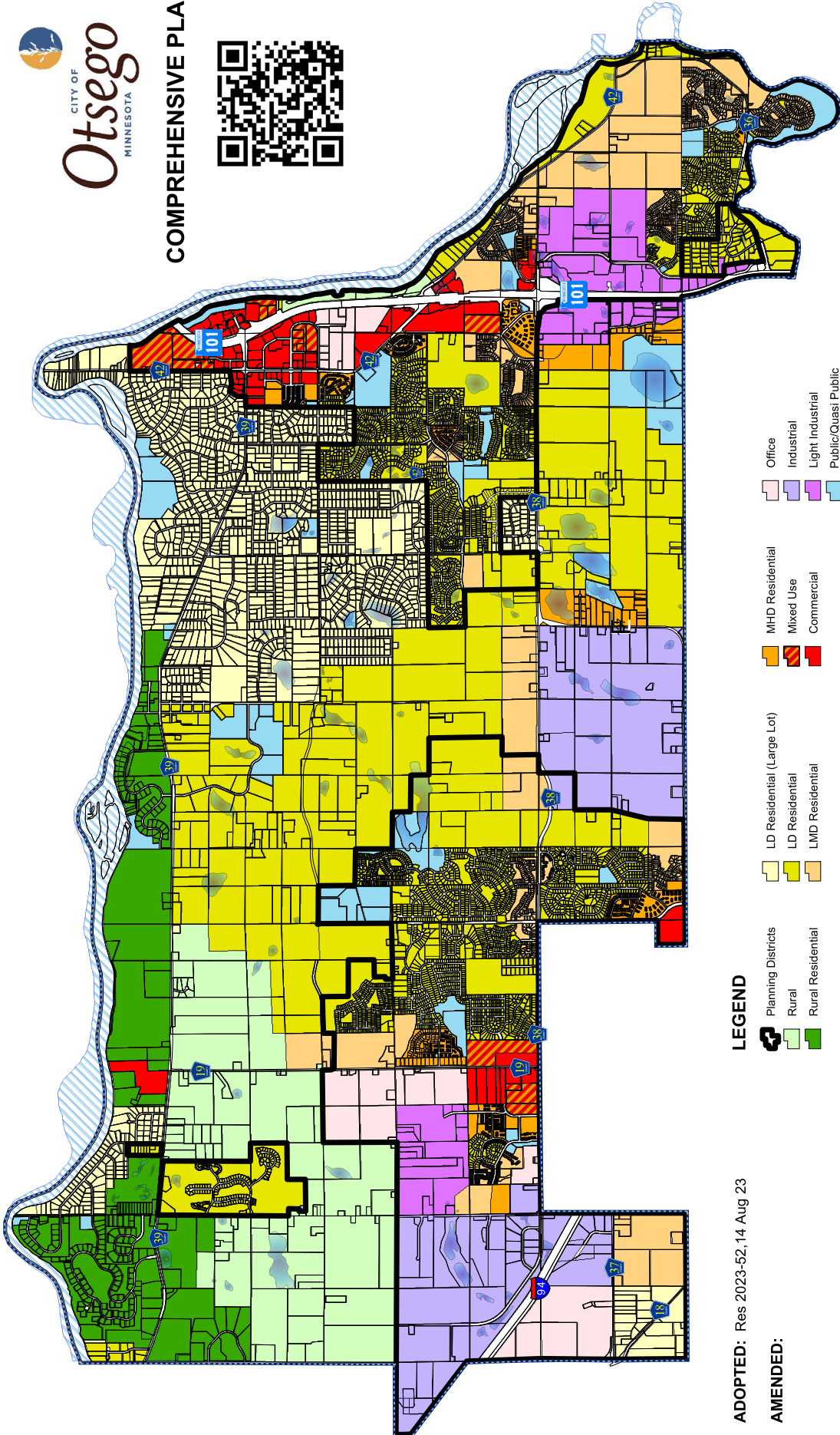
60th Street NE that will include roundabouts, lane modifications and roadway widening.

5) **The proposed use can be accommodated by existing public services and facilities and will not overburden the City's service capacity.**

Response: The proposed Costco Development will be adequately served with transportation services, facilities and public utilities (i.e., water, sewer, electric, gas, fire protection and storm) and will not impose an undue burden above and beyond those of the permitted and conditional uses of the B-3 zoning district. On and off-site traffic circulation will not have an adverse impact on nearby properties or existing uses and will not overburden the City's service capacity to accommodate Costco's proposed development.



COMPREHENSIVE PLAN 2023

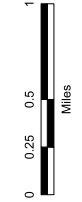


LEGEND

- Planning Districts
- Rural
- Rural Residential
- LD Residential (Large Lot)
- LD Residential
- LMD Residential
- MHD Residential
- Mixed Use
- Commercial
- Office
- Industrial
- Light Industrial
- Public/Quasi Public

ADOPTED: Res 2023-52, 14 Aug 23

AMENDED:



K:\cad_eng\PROJECTS\GIS\TPCOtsego\Comprehensive Plan 2012\Future Land Use Map

**FUTURE LAND USE PLAN
EXHIBIT C**

DISCLAIMER:
This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information.



- Principal Arterial - Interstate
- Principal Arterial - Other
- Minor Arterial
- Major Collector
- Minor Collector
- Future Minor Arterial
- Future Major Collector
- Future Minor Collector
- Future Local
- Proposed Changes
- Local

Road Symbols

- Interstate
- State Highway
- County State Aid Highway
- County Road

Figure 5-2 Future Functional Classification Changes (Northeast)

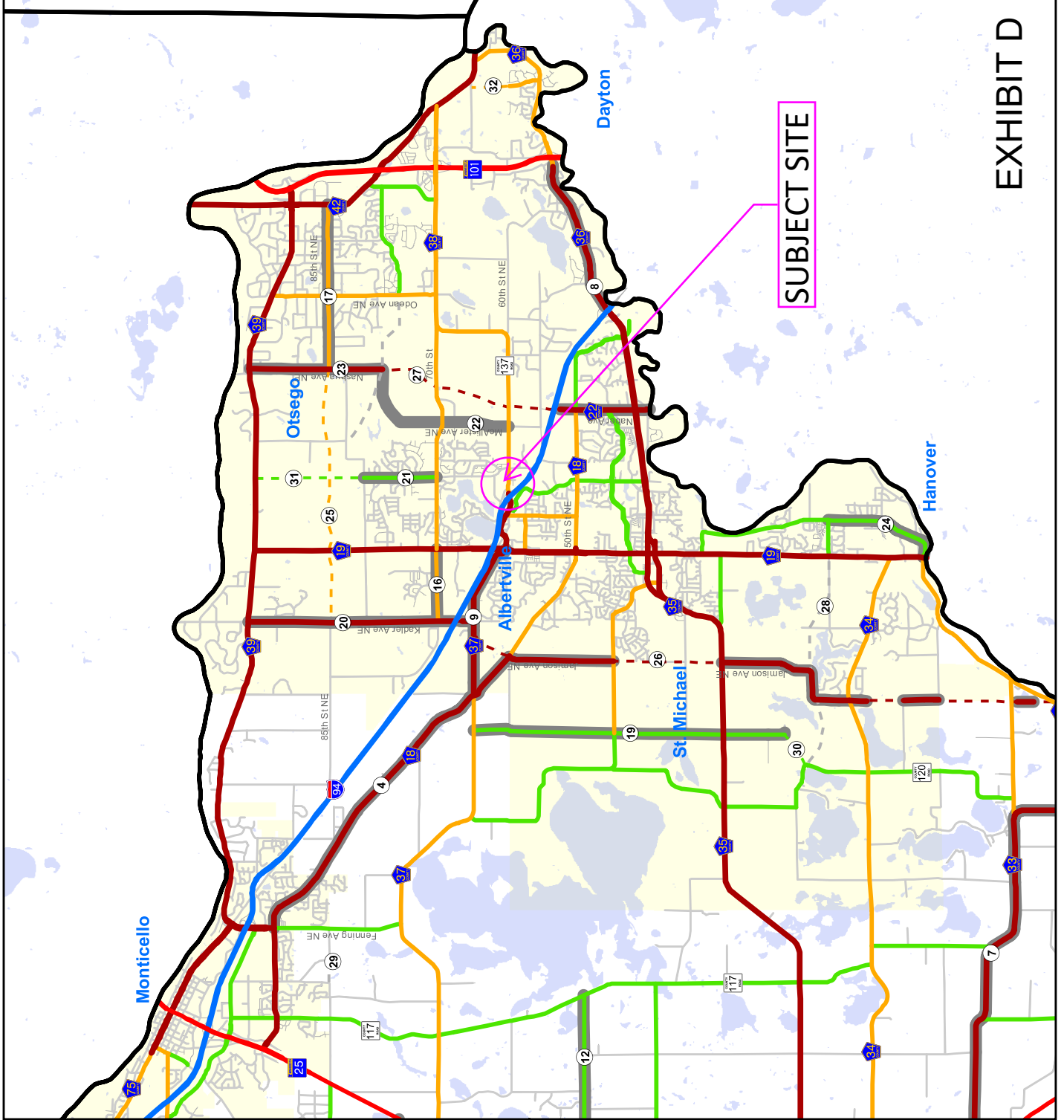
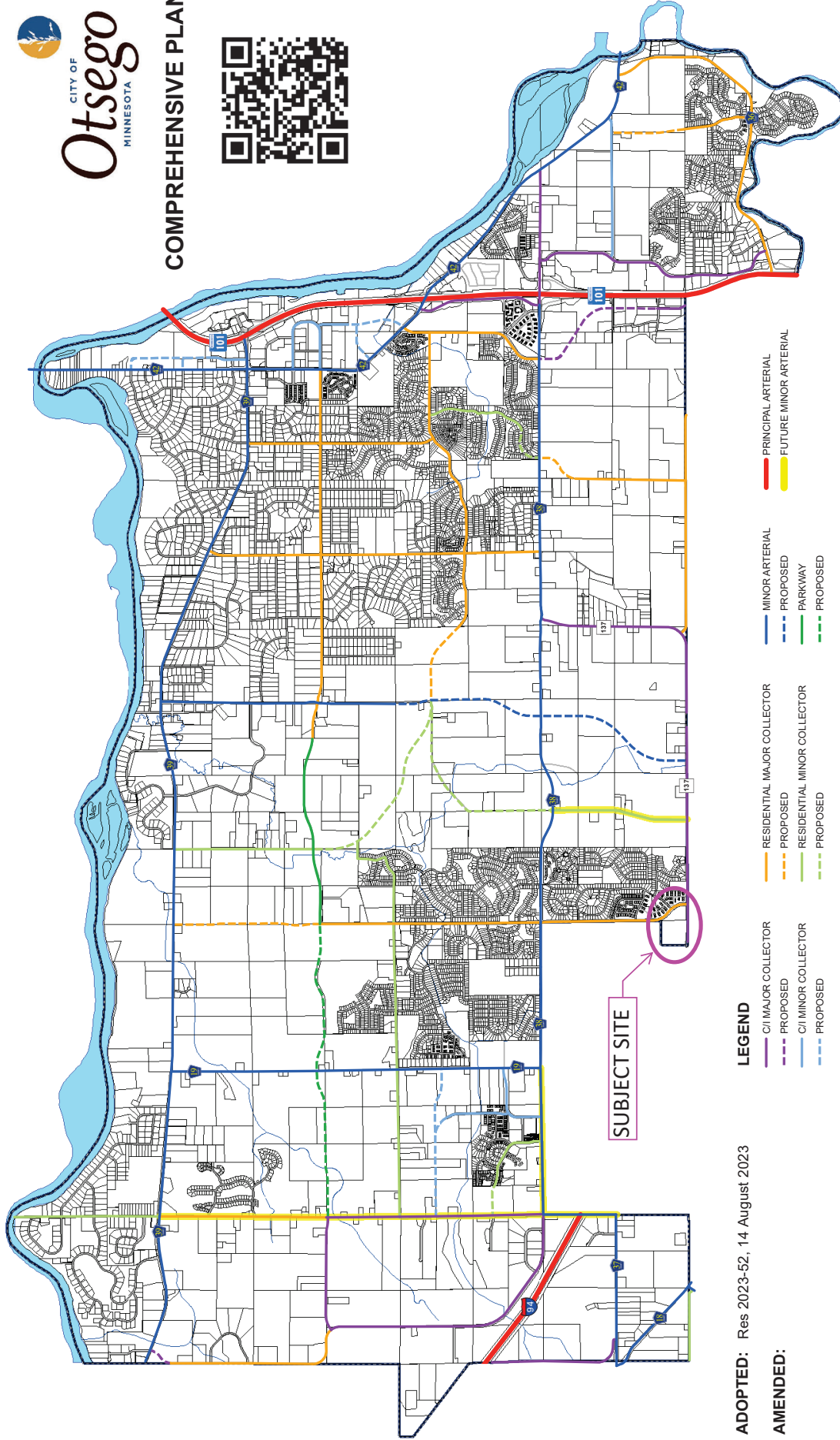


EXHIBIT D



ADOPTED: Res 2023-52, 14 August 2023

AMENDED:

LEGEND

- C/I MAJOR COLLECTOR
- PROPOSED
- C/I MINOR COLLECTOR
- PROPOSED
- RESIDENTIAL MAJOR COLLECTOR
- PROPOSED
- RESIDENTIAL MINOR COLLECTOR
- PROPOSED
- MINOR ARTERIAL
- PROPOSED
- PARKWAY
- PROPOSED
- PRINCIPAL ARTERIAL
- FUTURE MINOR ARTERIAL

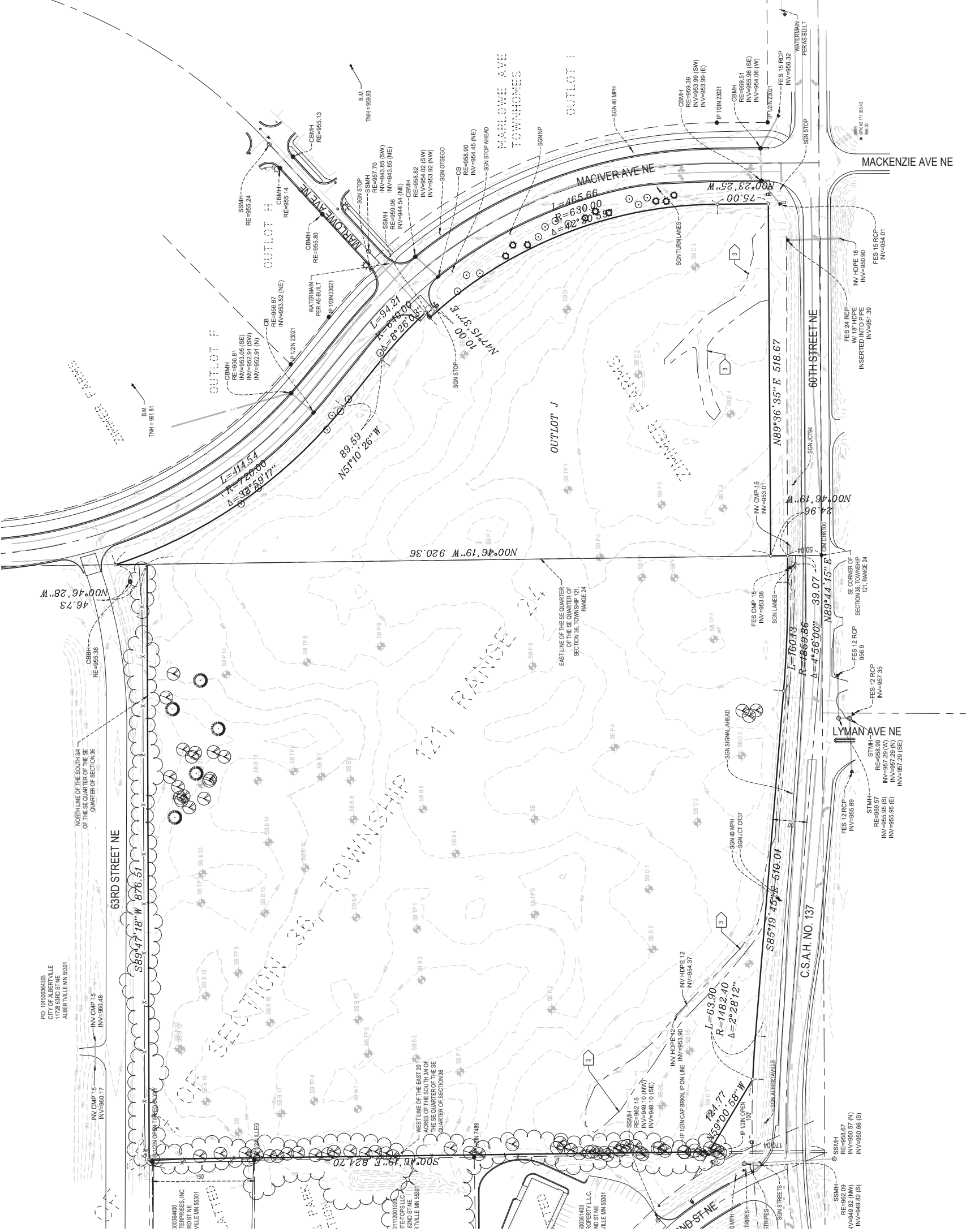
SUBJECT SITE



**TRANSPORTATION
PLAN EXHIBIT E**

DISCLAIMER:
This product is for informational purposes and may not have been prepared for, or be suitable for, legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information.

- EXISTING CONDITIONS**
- Background information shown is from a survey by Larson Survey & Engineering, Inc. in November 2024, in Otsego, Minnesota. The engineer is not responsible for any errors or omissions in the information provided by others. Existing project conditions shall be verified prior to beginning construction. Errors, inconsistencies, or omissions discovered shall be reported to the Engineer IMMEDIATELY.
 - Geotechnical boring locations are approximate and are based on information provided in the Preliminary Boring Log prepared by Kiewit/Arbore on December 04, 2023.
- 3 Approximate wetland boundary as delineated by Terason in November of 2023.



DEVELOPER
COSTCO WHOLESALE
 992 LAKE DRIVE
 ISSAQUAH, WA 98027
 TEL (425) 313-8100



PROJECT
COSTCO WHOLESALE
 OTSEGO, MN

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVISION
08 JAN 2024	PRELIMINARY PLAT SUBMITTAL	TM
09 JAN 2024	GREEN INK SET	TM
20 JAN 2024	REVISED PRELIMINARY PLAT	TM

CERTIFICATION

PRELIMINARY
 NOT FOR
 CONSTRUCTION

IF THE SPAN BEHIND OR ON THIS SHEET IS NOT DIRECTLY INDICATED BY A NOTE, THIS SHEET HAS BEEN REPRODUCED FROM AN INTERIOR REVISION SHEET. THE ENGINEER WILL REQUEST ADDITIONAL DOCUMENTS.

REVISED PRELIMINARY PLAT
 JANUARY 26, 2024



105 South Fifth Avenue
 Suite 513
 Minneapolis, MN 55401

Tel: 612-252-9070
 Fax: 612-252-9077
 Web: landform.net

FILE NAME: C101CWC030
 PROJECT NO.: CWC20300

EXISTING CONDITIONS
C1.1



GENERAL NOTES

- For construction staking and surveying services contact Landform at 612.252.9070.
- Obtain permits for demolition, clearing, and disposal prior to beginning.
- Contact utility service providers for final location of services 72 hours prior to beginning demolition and clearing.
- See Sheet C3.1, C3.4 for erosion prevention and sediment control measures that must be in place prior to disturbances to site.
- Reserved.
- Dimensions shown for removal are approximate. Coordinate with new construction to ensure appropriate removal of existing facilities.
- Pavement sawcut. Remove concrete walks and curbing to the nearest existing joint beyond construction limits.
- Complete demolition with minimal disruption of traffic. Coordinate lane closures with the regulatory authority and provide advance notification to affected emergency response providers.
- Provide barricades, signs, safety, traffic control, and other measures necessary for protection and safety of the public and maintain throughout construction.
- Protect structures, utilities, trees, plant material, soil, and adjacent property from damage during construction unless noted for removal. Damage shall be repaired to equal or better condition at no additional cost.
- Reserved.
- Remove trees noted, including good structures, from the site. Coordinate with owner to mark trees to be saved or transplanted prior to clearing. Protect trees indicated with tree protection fencing per Detail C7.31.1.
- Remove existing site features including, but not limited to, underground utilities, paving, curbing, walkways, leveling aprons and signage within the construction limits unless noted otherwise.
- Coordinate removal, relocation, termination, and re-use of existing private utility services and appurtenances with the utility company. Restore electric handholes, pullboxes, powerpoles, guylines, and structures disturbed by construction in accordance with utility owner requirements.
- Existing piping and conduits may be abandoned in place if filled with sand and if not in location of proposed building or in conflict with proposed utilities or structures. Terminate existing services at the supply side in conformance with provider's standards.
- Use demolition debris offsite to a facility approved by regulatory authorities for the handling of demolition debris, unless noted otherwise.
- Remove, salvage and relocate existing utility structures. Refer to Utility sheet for proposed location.
- Remove, salvage, and relocate existing sign. Refer to Sign Plan for proposed location.
- Remove existing street pavement markings per City of Chicago standards and specifications. Refer to the Site Plan Sheets for proposed striping layout.
- Open and end replace 8" DP watermain with 12" DP watermain. Refer to sheet C4.5.

DEVELOPER
COSTCO WHOLESALE
 992 LAKE DRIVE
 ISSAQUAH, WA 98027
 TEL: (425) 313-8100

MUNICIPALITY



PROJECT
COSTCO WHOLESALE
 OTSEGO, MN

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVISION
08 JAN 2024	PRELIMINARY PLAT SUBMITTAL	TM
09 JAN 2024	GREEN INK SET	TM
20 JAN 2024	REVISED PRELIMINARY PLAT	TM

CERTIFICATION

PRELIMINARY
 NOT FOR
 CONSTRUCTION

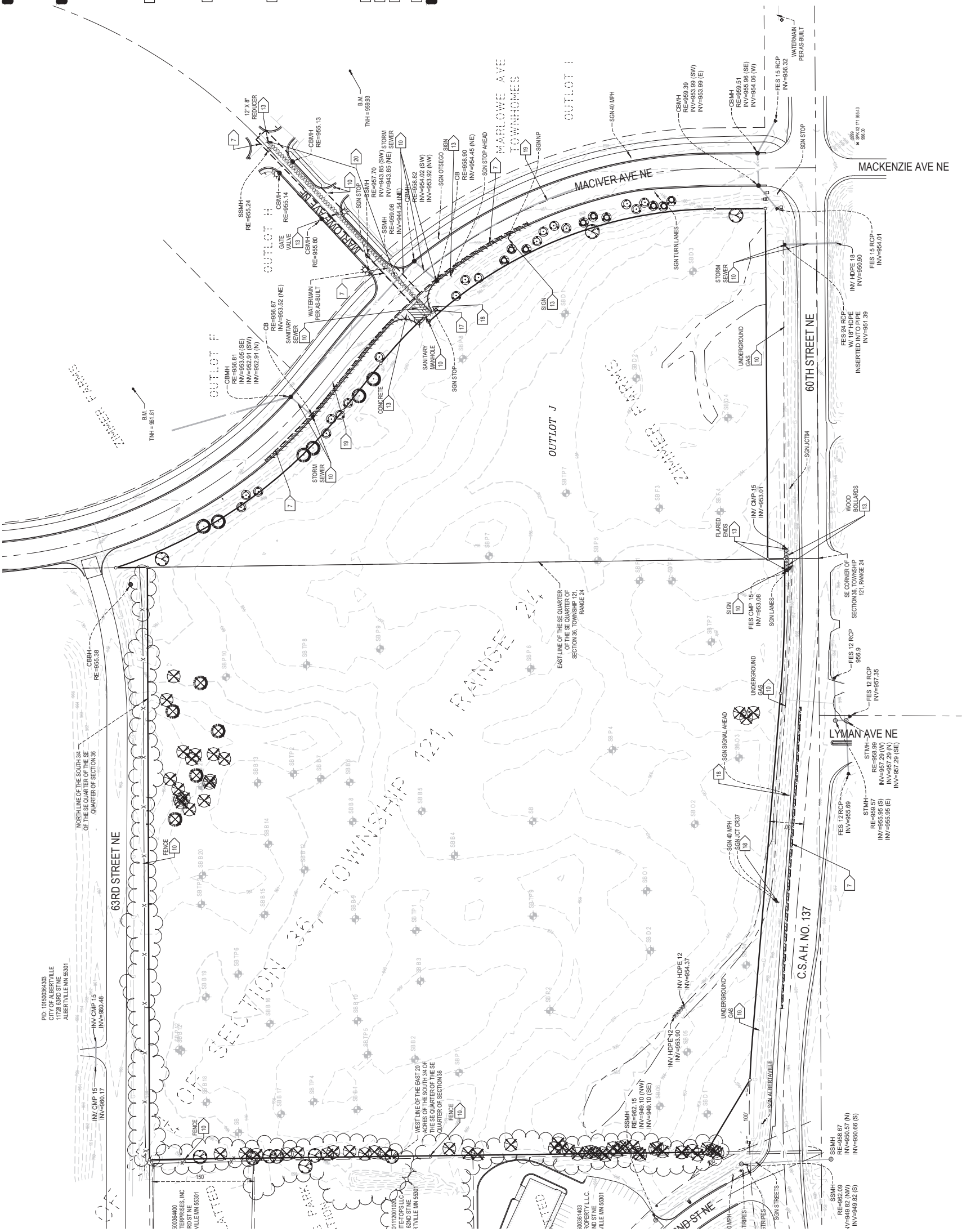
REVISED PRELIMINARY PLAT
 JANUARY 26, 2024



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FILE NAME: C102CWC030
 PROJECT NO.: CWC20030

DEMOLITION
C1.2



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0 80 160
 NORTH

LEGAL DESCRIPTION

PARCEL A
ABSTRACT PROPERTY,
OUTLOT J, ZIMMER FARMS, ACCORDING TO THE RECORDED PLAT THEREOF, WRIGHT COUNTY, MINNESOTA.

PARCEL B
ABSTRACT PROPERTY,
THE EAST 20 ACRES OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 36,
TOWNSHIP 106 NORTH RANGE 24, WRIGHT COUNTY, MINNESOTA, EXCEPT THAT PART THEREOF TAKEN FOR INTERSTATE
HIGHWAY NO. 34.

BENCHMARK

PROJECT BENCHMARK:
MONUMENT ORRELLY IN ST. MICHAEL 0.65 MILE EAST ALONG TRUNK HIGHWAY 241 FROM THE JUNCTION OF
TRUNK HIGHWAY 241 AND LINCOLN DRIVE IN ST. MICHAEL, AT TRUNK HIGHWAY 241 MILEPOINT 0.30, 41.3 FEET SOUTH
OF EASTBOUND TRUNK HIGHWAY 241 (CENTRAL AVENUE EAST), 81.3 FEET EAST OF AN ENTRANCE TO A STRIP WALL,
2.3 FEET NORTH OF THE NORTH EDGE OF A SIGNPOST, 15 FEET NORTH OF A WITNESS POST.
ELEVATION = 666.22 (NAVD 83)

SITE BENCHMARKS:
TOP NUT OF HYDRANT NORTHEAST OF SITE LOCATED IN OUTLOT F, ZIMMER FARMS.
ELEVATION = 961.02 (NAVD 83)
TOP NUT OF HYDRANT SOUTHEAST OF SITE LOCATED IN OUTLOT I, MARLOWE AVENUE TOWNHOMES.
ELEVATION = 959.93 (NAVD 83)

DEVELOPER
COSTCO WHOLESALE
595 LAKE DRIVE
ISSAQUAH, WA 98027
TEL (425) 313-8100

MUNICIPALITY



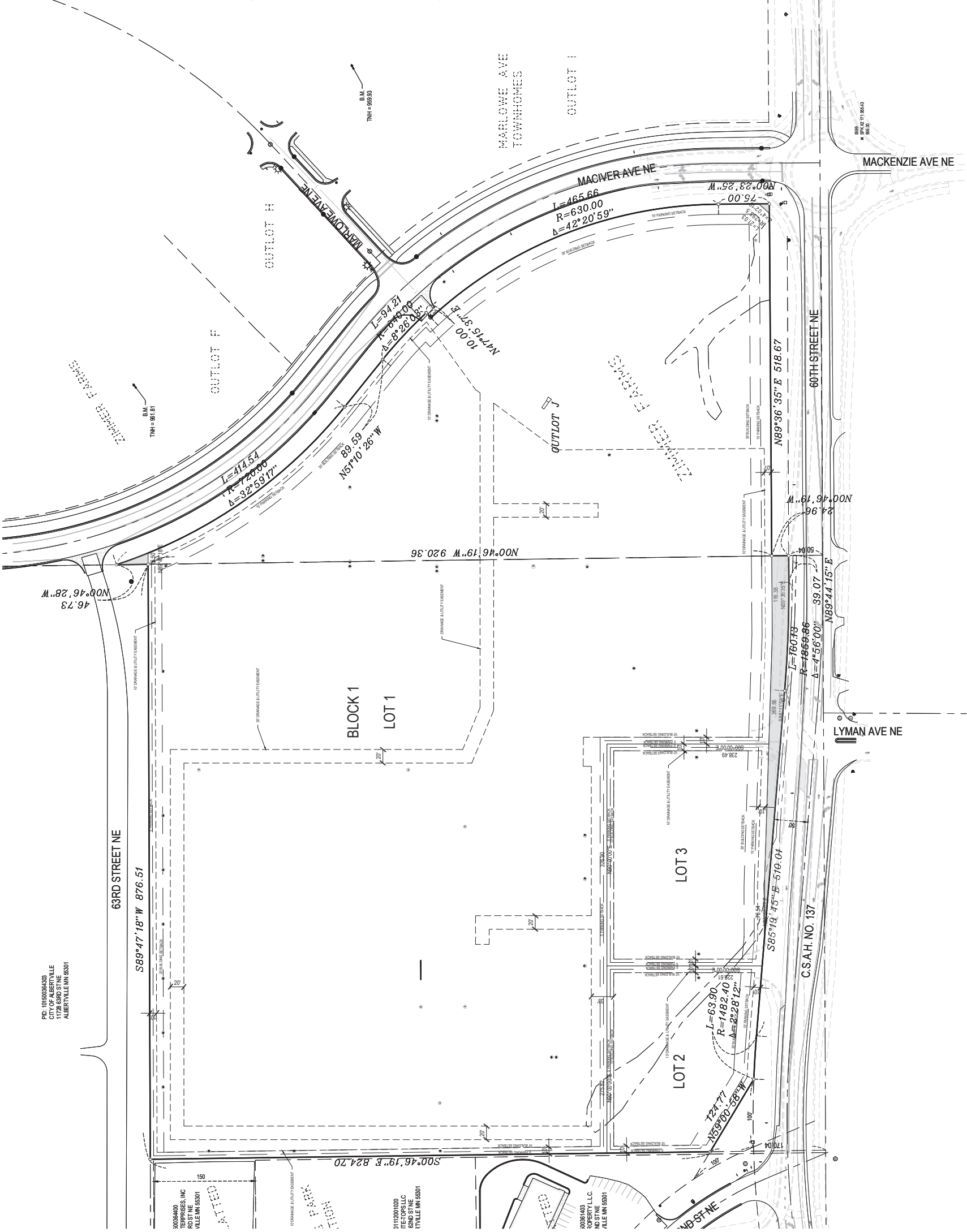
PROJECT



OTSEGO, MN

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVISION
05 JAN 2024	PRELIMINARY PLAT SUBMITTAL	TM
05 JAN 2024	GREEN INK SET	TM
05 JAN 2024	REVISED PRELIMINARY PLAT	TM



AREA SUMMARY

Total Existing Site Area: 1,106,899 S.F. = 25.41 AC.
Wetland Area: 17,663 S.F. = 0.41 AC.
Upland Area: 1,089,237 S.F. = 25.00 AC.

ZONING AND SETBACK SUMMARY

The current zoning designation is A-1, Agricultural-Rural Service Area. The subject property is in the process of rezoning to B-3, General Business. The following is a summary of the setback requirements for the B-3 district:

Building Setback (Information is as follows):
Front Yard (From right-of-way lines) = 30 ft.
Rear = 20 ft.
Side (Interlot) = 10 ft.

Parking Setback (Information is as follows):
Front Yard (From right-of-way lines) = 15 ft.
Rear = 10 ft.
Side (Interlot) = 5 ft.

LOT AREA TABLE

Lot	Block	Lot Size
Lot 1	Bk 1	964,270 s.f.
Lot 2	Bk 1	56,889 s.f.
Lot 3	Bk 1	76,407 s.f.
Lot 4	Bk 1	2,234 s.f.

LEGEND

- Property Line
- Interior Lot Line
- Underlying Parcel Line
- Existing Easement
- Proposed Easement
- Proposed Setback
- Area of subject property proposed for right-of-way dedication

CERTIFICATION

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REVISIED PRELIMINARY PLAT
JANUARY 26, 2024

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FILE NAME: C103CWC030
PROJECT NO.: CWC20300

PRELIMINARY PLAT
C1.3

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0 80 160
NORTH

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVISION
05/04/2024	PRELIMINARY PLAT SUBMITTAL	TOM
05/14/2024	OWNER REVIEW	TOM
05/21/2024	REVISED PRELIMINARY PLAT	TOM

- GENERAL NOTES**
- For construction staking and surveying services contact Landform at 612.252.9070.
- SITE PLAN NOTES**
- Obtain all necessary permits for construction within, or use of, public right-of-way.
 - The digital file, which can be obtained from the Engineer, shall be used for staking. Discrepancies between the drawings and the digital file shall be reported to the Engineer. The building footprint, as shown on these drawings, and the digital file, shall be compared to the structural drawings prior to staking.
 - Building layout angles are parallel with or perpendicular to the property line at the location indicated.
 - Dimensions shown are to face of curb and exterior face of building unless noted otherwise.
 - Delimitate parking stalls with 4-inch wide white painted stripes. Delimitate access aisles with 4-inch wide white painted stripes 18 inches on center and at 45 degree angle to direction of travel.
 - Trash / Recycling areas: See Architectural drawings.
 - Future CSAH 37 improvements designed by others.
 - Delimitate lane with 4-inch wide white painted stripe.
 - 1' wide white painted stop bar.
 - Pavement arrow. Refer to Detail 6 on Sheet C7.3.
 - 4-inch wide white painted stripes 18 inches on center and at 45 degree angle to direction of travel.
 - Refer to Detail sheets for stall paint striping.
 - Retaining wall designed by others. Refer to grading plan for additional information.
 - Reinstall salvaged road signs. Follow all City of Otsego standards and specifications.
 - Delimitate lane with 4-inch wide yellow painted stripe.
 - Paint new white 6" X 2" walk bars spaced 2' apart per MDDOT specifications.
 - Street Light design and install to be provided by Wigh-Hemington Electric.

ZONING AND SETBACK SUMMARY

The Property is Zoned B-3 General Business District
 Building Setback Information is as follows:
 Front Yard (Centerline) = 65 ft.
 Side (ROW) = 30 ft.
 Rear (ROW) = 20 ft.
 Rear (Residential) = 35 ft.
 Side (Residential) = 35 ft.
 Set = 10 ft.
 Parking Setback Information is as follows:
 ROW = 15 ft.
 Rear (interior) = 5 ft.
 Side (interior) = 5 ft.

Lot Coverage Information is as follows:
 Lot Area Minimum = 43,590 s.f. = 1 ac.
 Lot With Minimum Coverage = 43,590 s.f. = 1 ac.
 Total Site Area = 1,106,890 s.f. = 25.1 ac.

AREA SUMMARY

Existing:	Area	%
Pervious	1,106,839 s.f.	25.41 ac
Impervious	51 s.f.	0.00 ac
Total	1,106,890 s.f.	25.41 ac

Proposed:	Area	%
Pervious	350,078 s.f.	8.05 ac
Impervious	746,918 s.f.	17.15 ac
ROW Deduction	9,294 s.f.	0.21 ac
Total	1,106,890 s.f.	25.41 ac

PARKING SUMMARY

Required Parking:
 Retail Sales and Service with Storage/Warehouse
 One Stall per 200 s.f. of Building Public Sales & Service + One Stall per 500 s.f. of Storage
 163,474 s.f. Total
 81.74 s.f. = 200 s.f. = 818 Stalls

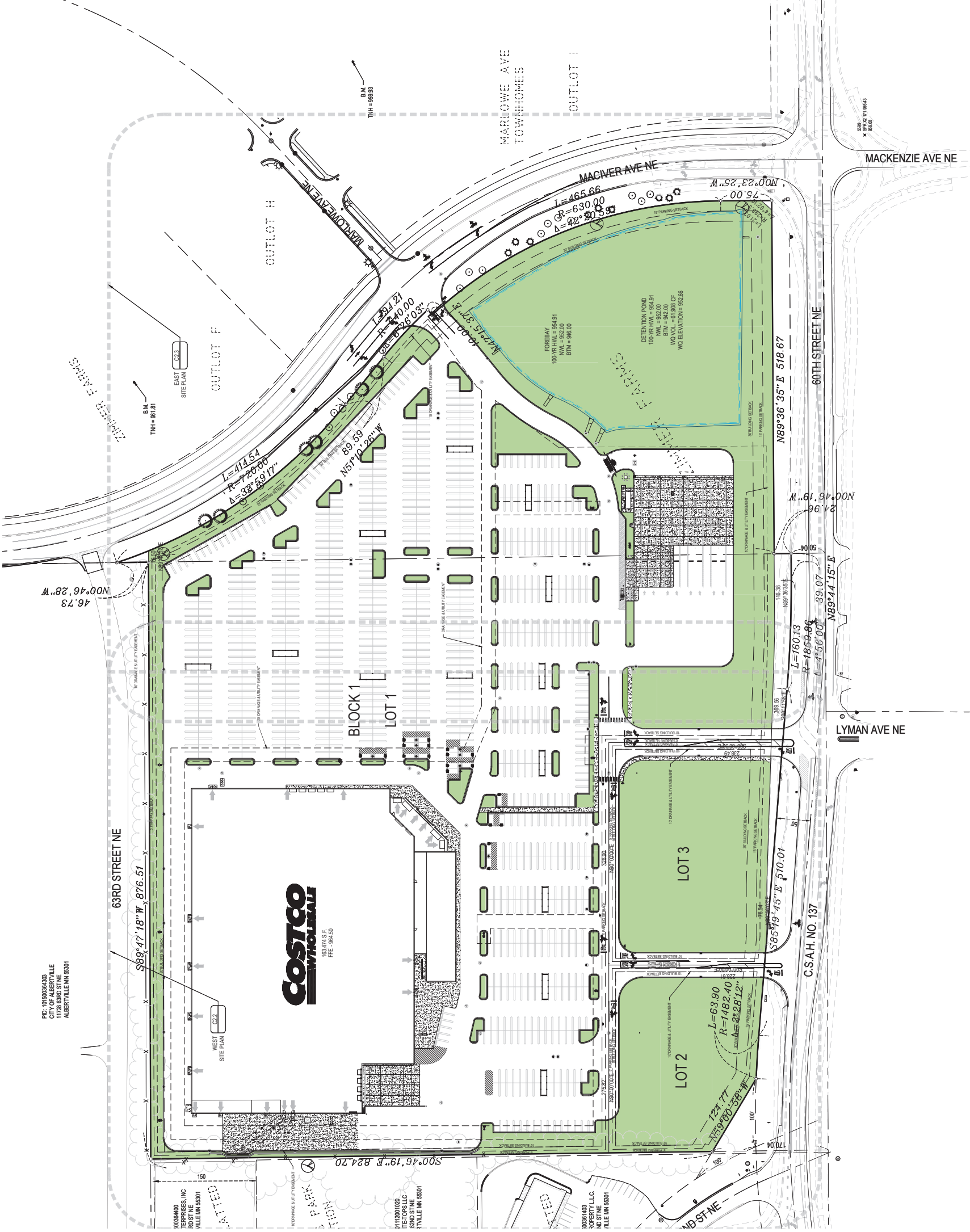
Total Parking Stalls Required = 818

Provided Parking:
 Standard Stalls (10x18) = 15 ea.
 Accessible Stalls (12x18) = 61 ea.
 Total Parking Stalls Provided = 950 ea.

LEGEND

- Green Space (Landscape Area)
- Concrete

Datum Correction:
 Plan Elevation - 0.42' = NGVD03 Elevation



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FILE NAME: C207/CWC030
 PROJECT NO.: CWC20300

OVERALL SITE PLAN C2.1

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVISION
05 JAN 2024	PRELIMINARY PLAT SUBMITTAL	TOM
09 JAN 2024	GREEN INK SET	TOM
25 JAN 2024	REVISED PRELIMINARY PLAT	TOM

CERTIFICATION

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REVISED PRELIMINARY PLAT
 JANUARY 26, 2024

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FILE NAME: C207CWC030
 PROJECT NO.: CWC20030

- GENERAL NOTES**
- For construction staking and surveying services contact Landform at 612.252.9070.
- SITE PLAN NOTES**
- Obtain all necessary permits for construction within, or use of, public right-of-way.
 - The digital file, which can be obtained from the Engineer, shall be used for staking. Discrepancies between the drawings and the digital file shall be reported to the Engineer. The building footprint, as shown on these drawings, and the digital file, shall be compared to the structural drawings prior to staking.
 - Building layout angles are parallel with or perpendicular to the property line at the location indicated.
 - Dimensions shown are to face of curb and exterior base of building unless noted otherwise.
 - Delimitate parking stalls with 4-inch wide white painted strips. Delimitate access aisles with 4-inch wide white painted strips 18 inches on center and at 45 degree angle to direction of travel.
 - Trash / Recycling areas: See Architectural drawings.
 - Future CSAH 37 improvements designed by others.
 - Delimitate lane with 4-inch wide white painted strip.
 - 1" wide white painted stop bar.
 - Pavement arrow. Refer to Detail 6 on Sheet C7.3.
 - 4-inch wide white painted strips 18 inches on center and at 45 degree angle to direction of travel.
 - Refer to Detail sheets for stall paint striping.
 - Retaining wall designed by others. Refer to grading plan for additional information.
 - Reinstall salvaged road signs. Follow all City of Otsego standards and specifications.
 - Delimitate lane with 4-inch wide yellow painted strip.
 - Paint new white 6" X 2" walk bars spaced 2' apart per MCDOT specifications.
 - Street Light design and install to be provided by Wigh-Hempton Electric.

ZONING AND SETBACK SUMMARY

The Property is Zoned B-3 General Business District
 Building Setback Information is as follows:
 Front Yard (Centerline) = 65 ft.
 Side (ROW) = 30 ft.
 Rear (ROW) = 20 ft.
 Rear (Residential) = 35 ft.
 Side (Residential) = 35 ft.
 Set = 10 ft.
 Parking Setback information is as follows:
 Rear (interior) = 5 ft.
 Side (interior) = 5 ft.

Lot Coverage Information is as follows:
 Lot Area Minimum = 43,590 s.f. = 1 ac.
 Lot With Minimum Coverage = 110,000 s.f. = 2.5 ac.
 Total Site Area = 1,106,890 s.f. = 25.1 ac.

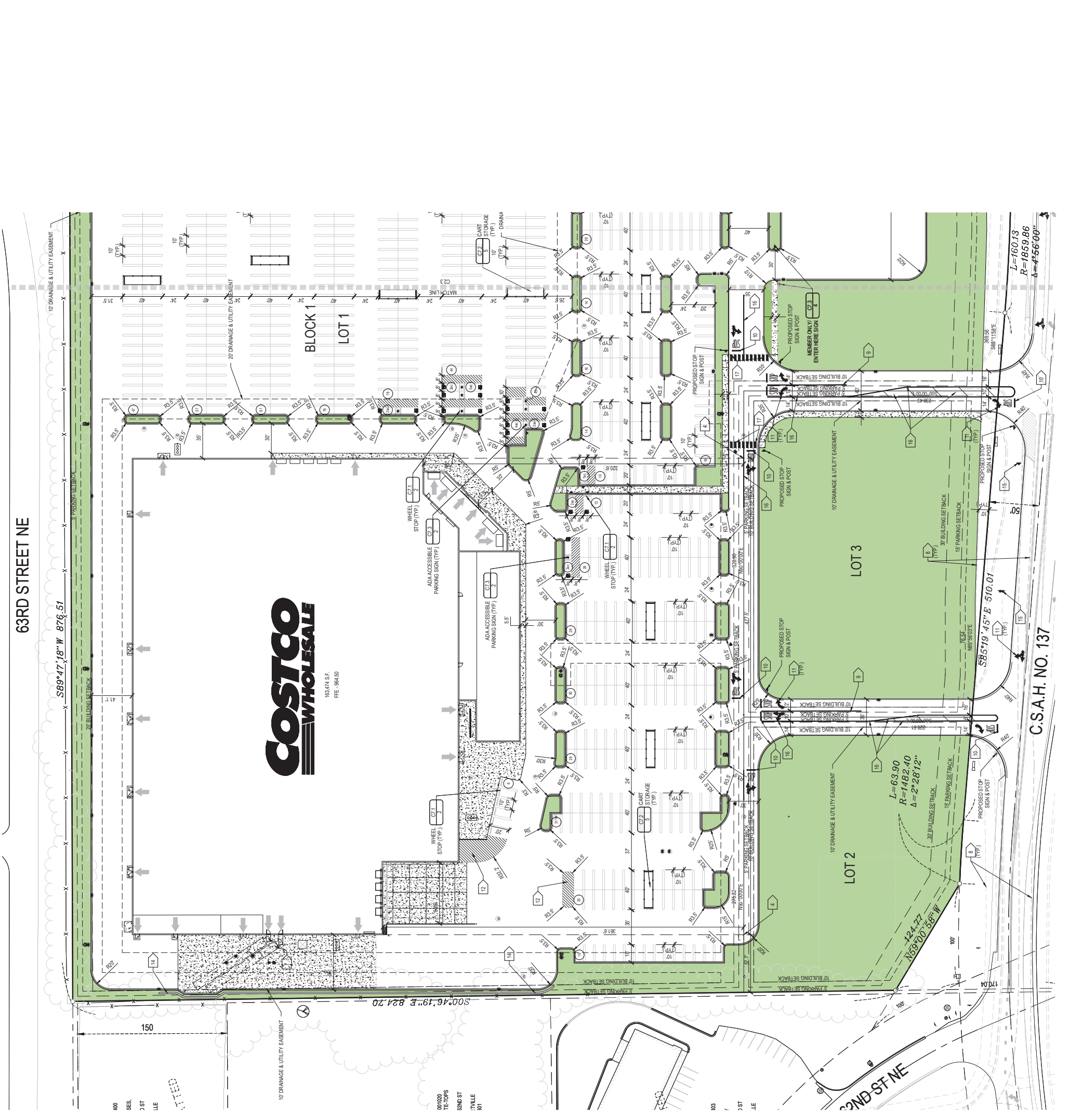
AREA SUMMARY

Existing:	Proposed:
Perious Impervious	Perious Impervious
1,106,839 s.f.	350,078 s.f.
51 s.f.	746,518 s.f.
25.41 ac.	17.15 ac.
0.07%	67.5%
100.0%	0.8%
	1,106,890 s.f.
	25.41 ac.
	100.0%

PARKING SUMMARY

Required Parking:
 Retail Sales and Service with Storage/Warehouse
 One Stall per 200 s.f. of Building Public Sales & Service + One Stall per 500 s.f. of Storage
 153,474 s.f. Total
 76.74 s.f. / 200 s.f. = 383 Stalls
 Total Parking Stalls Required = 818

Provided Parking:
 Standard Stalls (10x18)
 ADA Accessible Stalls (10x18)
 Total Parking Stalls Provided = 950



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FILE NAME: C207CWC030
 PROJECT NO.: CWC20030

WEST SITE PLAN
C2.2

DEVELOPER
COSTCO WHOLESALE
 995 LAKE DRIVE
 ISSAQUAH, WA 98027
 TEL (425) 313-8100

MUNICIPALITY
CITY OF Otsego
 MINNESOTA



PROJECT
COSTCO WHOLESALE
 OTSEGO, MN

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVISION
05/04/2024	PRELIMINARY PLAT SUBMITTAL	TOP
05/04/2024	GREEN INK SET	TOP
05/04/2024	REVISED PRELIMINARY PLAT	TOP

- GENERAL NOTES**
- For construction staking and surveying services contact Landform at 612.252.9070.
 - Obtain all necessary permits for construction within, or use of, public right-of-way.
 - The digital file, which can be obtained from the Engineer, shall be used for staking. Discrepancies between the drawings and the digital file shall be reported to the Engineer. The building footprint, as shown on these drawings, and the digital file, shall be compared to the structural drawings prior to staking.
 - Building layout angles are parallel with or perpendicular to the property line at the location indicated.
 - Dimensions shown are to face of curb and exterior face of building unless noted otherwise.
 - Delimitate parking stalls with 4-inch wide white painted strips. Delimitate access aisles with 4-inch wide white painted stripes 18 inches on center and at 45 degree angle to direction of travel.
 - Trash / Recycling areas: See Architectural drawings.
 - Future CSAH 37 improvements assigned by others.
 - Delimitate lane with 4-inch wide white painted stripe.
 - 1" wide white painted stop bar.
 - Pavement arrow. Refer to Detail 6 on Sheet C7.3.
 - 4-inch wide white painted stripes 18 inches on center and at 45 degree angle to direction of travel.
 - Refer to Detail sheets for stall paint striping.
 - Retaining wall designed by others. Refer to grading plan for additional information.
 - Reinstall salvaged road signs. Refer to grading plan for additional information.
 - Delimitate lane with 4-inch wide yellow painted stripe.
 - Paint new white 6" X 2" walk bars spaced 2' apart per MCDOT specifications.
 - Street Light design and install to be provided by Wigh-Hempton Electric.

- ZONING AND SETBACK SUMMARY**
- The Property is Zoned B-3 General Business District
 Building Setback Information is as follows:
 Front Yard (Centerline) = 65 ft.
 Rear Yard (Centerline) = 20 ft.
 Rear (Residential) = 35 ft.
 Side (Residential) = 35 ft.
 Side (Interior) = 5 ft.
 Parking Setback Information is as follows:
 ROW = 15 ft.
 Side (Interior) = 5 ft.
- Lot Coverage Information is as follows:
 Lot Area Minimum = 43,590 s.f. = 1 ac.
 Lot With Minimum = 116,890 s.f. = 2.67 ac.
 Total Site Area = 1,106,890 s.f. = 25.4 ac.

AREA SUMMARY

Category	Area (s.f.)	Area (ac.)	Percentage
Existing Pavement	1,106,839	25.41	99.9%
Impervious	51	0.00	0.01%
Total	1,106,890	25.41	100.0%
Proposed Pavement	350,678	8.05	31.7%
Impervious	746,518	17.15	67.5%
ROW Deduction	9,294	0.21	0.8%
Total	1,106,890	25.41	100.0%

PARKING SUMMARY

Required Parking:
 Retail Sales and Service with Storage/Warehouse
 One Stall per 200 s.f. of Building Public Sales & Service + One Stall per 500 s.f. of Storage
 93,474 s.f. Total
 467.37 s.f. Total
 233.68 s.f. Total
 Total Parking Stalls Required = 618

Provided Parking:
 Standard Stalls (10x18)
 Accessible Stalls (20x18)
 Total Parking Stalls Provided = 950

LEGEND

- Green Space (Landscape Area)
- Concrete
- Datum Correction: Plan Elevation - (AZ) = NGVD08 Elevation

CERTIFICATION

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 CONSTRUCTION

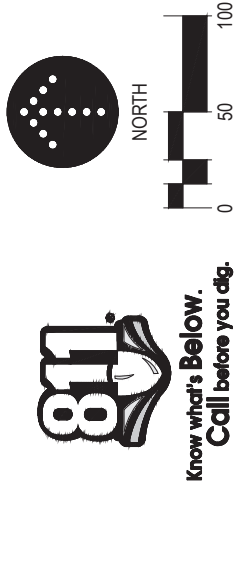
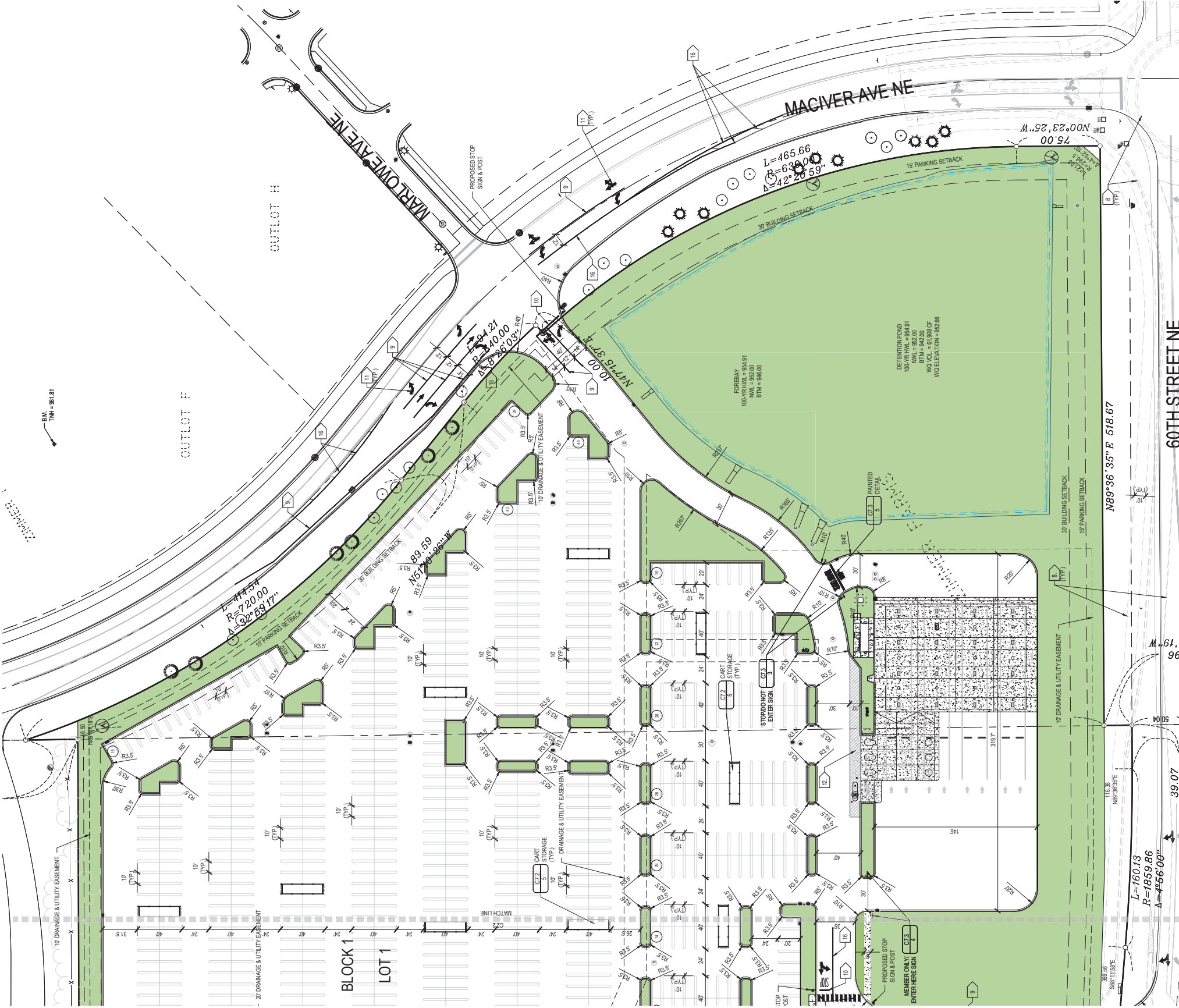
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 JANUARY 26, 2024

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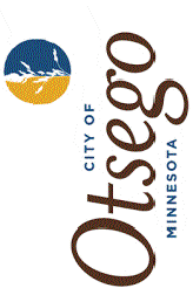
FILE NAME: C207/CWC030
 PROJECT NO.: CWC20030

EAST SITE PLAN C2.3



DEVELOPER
COSTCO WHOLESALE
 992 LAKE DRIVE
 ISSAQUAH, WA 98027
 TEL (425) 313-8100

MUNICIPALITY



PROJECT
COSTCO WHOLESALE
 OTSEGO, MN

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVISION
05/01/2024	PRELIMINARY PLAT SUBMITTAL	TM
05/01/2024	GREEN INK SET	TM
05/01/2024	REVISED PRELIMINARY PLAT	TM

CERTIFICATION

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 NOT FOR
 CONSTRUCTION

REVISED PRELIMINARY PLAT
 JANUARY 26, 2024



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 FILE NAME: C301/CWC030
 PROJECT NO.: CWC20030

OVERALL GRADING, DRAINAGE,
 PAVING & EROSION CONTROL
C3.1

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GENERAL NOTES

- For construction staking and surveying services contact Landform at 612.252.9070.
- Final grades in Right-of-Way to be coordinated with final design by Wright County for County Road 37.
- Install perimeter sediment control prior to beginning work and maintain for duration of construction. Remove controls after areas contributing runoff are permanently stabilized and disposes of fill site.
- Install inlet protection. Wincof RD or CG models as appropriate, or approved equal. Maintain protection until project is stabilized.
- Limit soil disturbance to the grading limits shown. Schedule operations to minimize length of exposure of disturbed areas.
- Management practices shown are the minimum requirement. Install and maintain additional controls as work proceeds to prevent erosion and control sediment carried by wind or water.
- Refer to SWPPP Notes on Sheet C3.5 for additional requirements.
- Excavate ponds early in the construction sequence. Remove sediment from ponds periodically and after areas contributing runoff are permanently stabilized.
- Stabilization must be started immediately to limit soil erosion when the construction activity in that portion of the site has temporarily or permanently ceased and will not resume for 14 calendar days.
- Seed, Sod, Mulch, Erosion Control Blanket, and Fertilizer shall meet the following Specifications, as modified. Seeded areas without erosion control blanket shall be also mulched.

Soil	Seed	Specification Number	Estimated Quantities
MN Type 2-111 @ 100 lb./ac. - Temporary Erosion Control	MNDOT 3876	MNDOT 3876	
MN Type 2-112 @ 100 lb./ac. - Temporary Erosion Control	MNDOT 3876	MNDOT 3876	
MN Type 2-112 @ 100 lb./ac. - Temporary Erosion Control	MNDOT 3882	MNDOT 3882	
Mulch	MNDOT Type 1 @ 2 (Aronox)	MNDOT 3885	
Erosion Control Blanket	MNDOT 3881	MNDOT 3881	
Fertilizer (MNDOT Type 3A)	MNDOT 2575	MNDOT 2575	
General Placement			
- Reserved.
- Scope adjacent streets clean daily and sweep clean weekly.

GRADING NOTES

- Contact utility service providers for field location of services 72 hours prior to beginning grading.
- Refer to the Geotechnical Report prepared by Kiewit/Leifer, for additional information on backfill material and groundwater conditions.
- Remove material from grading areas and stockpile sufficient quantity for reuse. Materials may be mined from backslope areas for use on site and replaced with excess organic material with prior Owner approval.
- Remove surface and ground water from excavations. Provide initial lifts of stable foundation material if exposed soils are wet and unstable.
- Rough grade Building Pad to 12 inches below Finished Floor Elevation (FFE).
- Refer to Structural Specifications for framework requirements for building pads.
- An Independent Testing Firm shall verify the removal of organic and unsuitable soils, soil correction, and compaction and provide periodic reports to the Owner.
- Place and compact fill using lift thicknesses matched to soil type and compaction equipment to obtain specified compaction throughout the fill.
- Compact concrete soils in paved areas to 95% of maximum dry density. Standard Proctor (ASTM D698) except the top 3 feet which shall be compacted to 98% of maximum dry density. Compact granular soils to 98% of maximum dry density. Compact granular moisture content in granular soils all portions of the embankment shall be compacted to not less than 85% of Modified Proctor Density (ASTM D1557).
- Coordinate with Architectural for building access locations. Slopes shown on adjacent walks and pavements should continue over steps.

PAVING NOTES

- Spot Elevations at curbsides indicate business unless noted otherwise. See Sheet C4.1 for rim elevations of catch basins.
- Grades between proposed spot elevations shall be continuous and nonvariable. Spot Elevations shall govern over contour lines.
- Meet and Match existing curb. Transition as needed.
- Paving Sections: (Refer to Geotechnical Report prepared by Kiewit/Leifer)
 - Blumhouse Paving (Light Duty)
 - Blumhouse Paving (Heavy Duty)
 - Concrete Pathways
 - Concrete Drives, Aprons, and Exterior Slabs
- Concrete, blocks, and pavers shall be as shown and allow access sidewalks, curbs, and pavement, paying attention to spacing of expansion joints. Joint spacing shall be as follows:
 - Topped joints: Divide pavers into nominally equal areas unless shown otherwise.
 - Expansion Joints: Saw-cuts - 40 feet max., Curbs - 60 feet max., Pavement 60 feet max., Adjacent to building.
 - Construction Joints: Saw-cuts - 8 to 10 feet; Curbs and Aprons - 12 to 15 feet.
- Accessible Paving: Slabs and adjacent access sides shall not exceed a 2.0% slope in any direction.
- Accessible Routes shall have a maximum cross slope of 2.0% and a maximum running slope of 5.0%.
- Transition from 6" concrete curb & gutter to 8x18 curb & gutter.

WET CAST/RY CAST RETAINING WALL NOTES

- Dry Cast Concrete Segmental Retaining Wall designed by others. Color to be determined by Owner or Architect.
- Submit design to City for approval prior to Building Permit issuance.

Provide coordination and assurance that related work constructed within the restored earth zone, including fences, underground utilities, guard rails, etc. is in accordance with approved design and does not damage or reinforcing elements of the retaining wall.

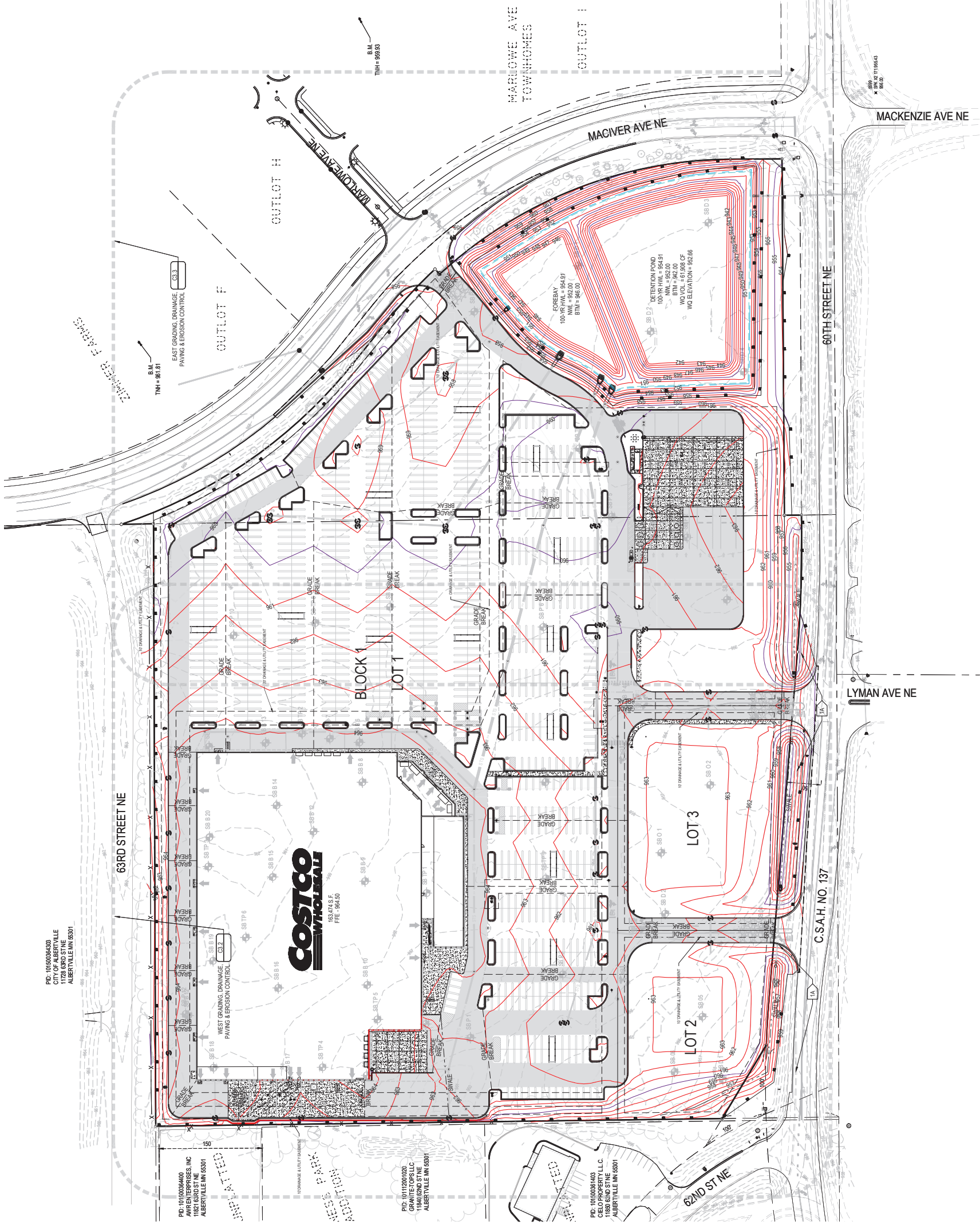
LEGEND

SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
(Circle with dot)	Inlet Protection	47 ea.
(Line with cross-hatch)	Silt Fence	6,480 ft.
(Line with vertical dashes)	Compost or Bio Log	79 ft.
(Line with circles)	Vehicle Tracking Pad	3 ea.
(Line with cross-hatch)	Erosion Control Blanket	25,218 sq. ft.
(Line with dots)	Top Out Curb	
(Line with dots)	Pavement Sawcut	
(Line with dots)	Top of wall	
(Line with dots)	Bottom of wall	

Datum Connection
 Plan Elevation = 0.42' = NGVD08 Elevation



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 CITY OF ALBERTVILLE
 ALBERTVILLE, MN 55301

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 GRANT/OPS LLC
 1180 62ND ST NE
 ALBERTVILLE, MN 55301

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 GRANT/OPS LLC
 1180 62ND ST NE
 ALBERTVILLE, MN 55301

GENERAL NOTES

- For construction staking and surveying services contact Landform at 612.252.9070.
- Final grades in Right-of-Way to be coordinated with final design by Wright County for County Road 37.
- Install perimeter sediment control prior to beginning work and maintain for duration of construction. Remove controls after areas contributing runoff are permanently stabilized and slopes of site.
- Install inlet protection. Wincof RD or CG models as appropriate, or approved equal. Maintain protection until project is stabilized.
- Limit soil disturbance to the grading limits shown. Schedule operations to minimize length of exposure of disturbed areas.
- Management practices shown are the minimum requirement. Install and maintain additional controls as work proceeds to prevent erosion and control sediment carried by wind or water.
- Refer to SWPPP Notes on Sheet C3.5 for additional requirements.
- Excavate ponds early in the construction sequence. Remove sediment from ponds periodically and after areas contributing runoff are permanently stabilized.
- Stabilization must be started immediately after final backfilling when the construction activity in that portion of the site has temporarily or permanently ceased and will not resume for 14 calendar days.
- Seed, Sod, Mulch, Erosion Control Blanket, and Fertilizer shall meet the following Specifications, as modified. Seeded areas without erosion control blanket shall be disc mulched.

Soil	Specification Number	Estimated Quantities
Seed	MINDOT 3876	
Soil	MINDOT 3878	
MN Type 2: 111 @ 100 lb./ac. - Temporary Erosion Control, May 1 - Jul 31		
MN Type 2: 112 @ 100 lb./ac. - Temporary Erosion Control, Aug 1 - Oct 31		
MN Type 2: 113 @ 100 lb./ac. - Temporary Erosion Control, Nov 1 - Dec 31		
Mulch	MINDOT 3882	
MNDOT Type 1 @ 2.0 (volic. - Disc Anchored)		
Erosion Control Blanket	MINDOT 3885	
Fertilizer (MNDOT Type 3A)	MINDOT 3881	
General Placement	MINDOT 2575	
- Reserved.
- Scope adjacent streets clean daily and sweep clean weekly.

GRADING NOTES

- Contact utility service providers for field location of services 72 hours prior to beginning grading.
- Refer to the Geotechnical Report prepared by Kiewit for additional information on backfill material and groundwater conditions.
- Remove material from grading areas and stockpile sufficient quantity for reuse. Materials may be mined from landscape areas for use on site and replaced with excess organic material with prior Owner approval.
- Remove surface and ground water from excavations. Provide initial lifts of stable foundation material if exposed soils are wet and unstable.
- Rough grade Building Pad to 12 inches below Finished Floor Elevation (FFE).
- Refer to Structural Specifications for earthwork requirements for building pads.
- An Independent Testing Firm shall verify the removal of organic and unsuitable soils, soil correction, and compaction and provide periodic reports to the Owner.
- Place and compact fill using lift thicknesses matched to soil type and compaction equipment to obtain specified compaction throughout the fill.
- Compact concrete soils in paved areas to 95% of maximum dry density. Standard Proctor (ASTM D698) except the top 3 feet which shall be compacted to 98% of maximum dry density. Compaction shall be verified by nuclear density measurement. Nuclear density measurement content in granular soils all portions of the embankment shall be compacted to not less than 95% of Modified Proctor Density (ASTM D1557).
- Coordinate with Architectural for building access locations. Slopes shown on adjacent walks and pavements should continue over stops.

PAVING NOTES

- Spot Elevations at curbsides indicate finished elevations unless noted otherwise. See Sheet C4.1 for rim elevations of catch basins.
- Grades between proposed spot elevations shall be continuous and nonvariable. Spot Elevations shall govern over contour lines.
- Meet and Match existing curb. Transition as needed.
- Paving Sections (Refer to Geotechnical Report prepared by Kiewit)
 - a. Bituminous Paving (Light Duty)
 - b. Bituminous Paving (Heavy Duty)
 - c. Concrete Highways
 - d. Concrete Drives, Aprons, and Exterior Slabs
- Concrete joints shall be shown and align across sidewalks, curbs, and pavement, paying attention to spacing of expansion joints. Joint spacing shall be as follows:
 - a. Topped joints: Divide panels into normally equal areas unless shown otherwise.
 - b. Expansion Joints: Saw-cuts - 40 feet max., Curbs - 60 feet max., Pavement 60 feet max., Adjacent to building.
 - c. Construction Joints: Saw-cuts - 8 to 10 feet; Cuts and Aprons - 12 to 15 feet.
- Accessible Paving: Slabs and adjacent access sides shall not exceed a 2.00% slope in any direction.
- Accessible Routes shall have a maximum cross slope of 2.00% and a maximum running slope of 5.00%.
- Adjust all structure sills to match pavement elevations.
- Transition from 6" concrete curb & gutter to 8x18 curb & gutter.

WET CAST/DRY CAST RETAINING WALL NOTES

- Dry Cast Concrete Segmental Retaining Wall designed by others. Color to be determined by Owner or Architect.
- Submit design to City for approval prior to Building Permit issuance.
- Provide coordination and assurance that related work constructed within the restored earth zone, including fences, underground utilities, guard rails, etc. is in accordance with approved design and does not damage or reinforcing elements of the retaining wall.

LEGEND

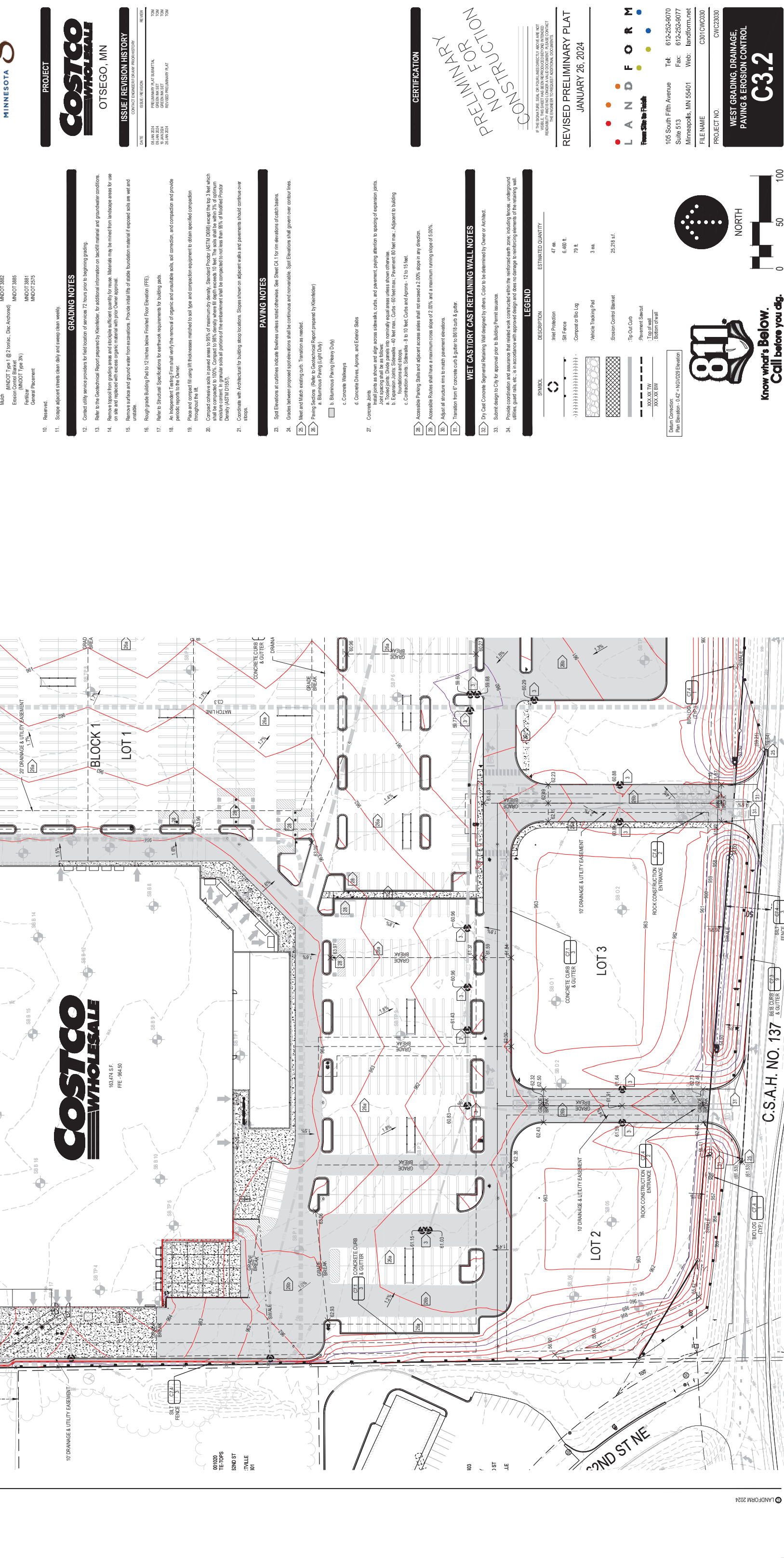
SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	Inlet Protection	47 ea.
	Silt Fence	6,480 ft.
	Composite or Bio Log	79 ft.
	Vehicle Tracking Pad	3 ea.
	Erosion Control Blanket	25,218 sq. ft.
	Tip Out Curb	
	Pavement Sawcut	
	Top of wall	
	Bottom of wall	
	XXX.XX BW	

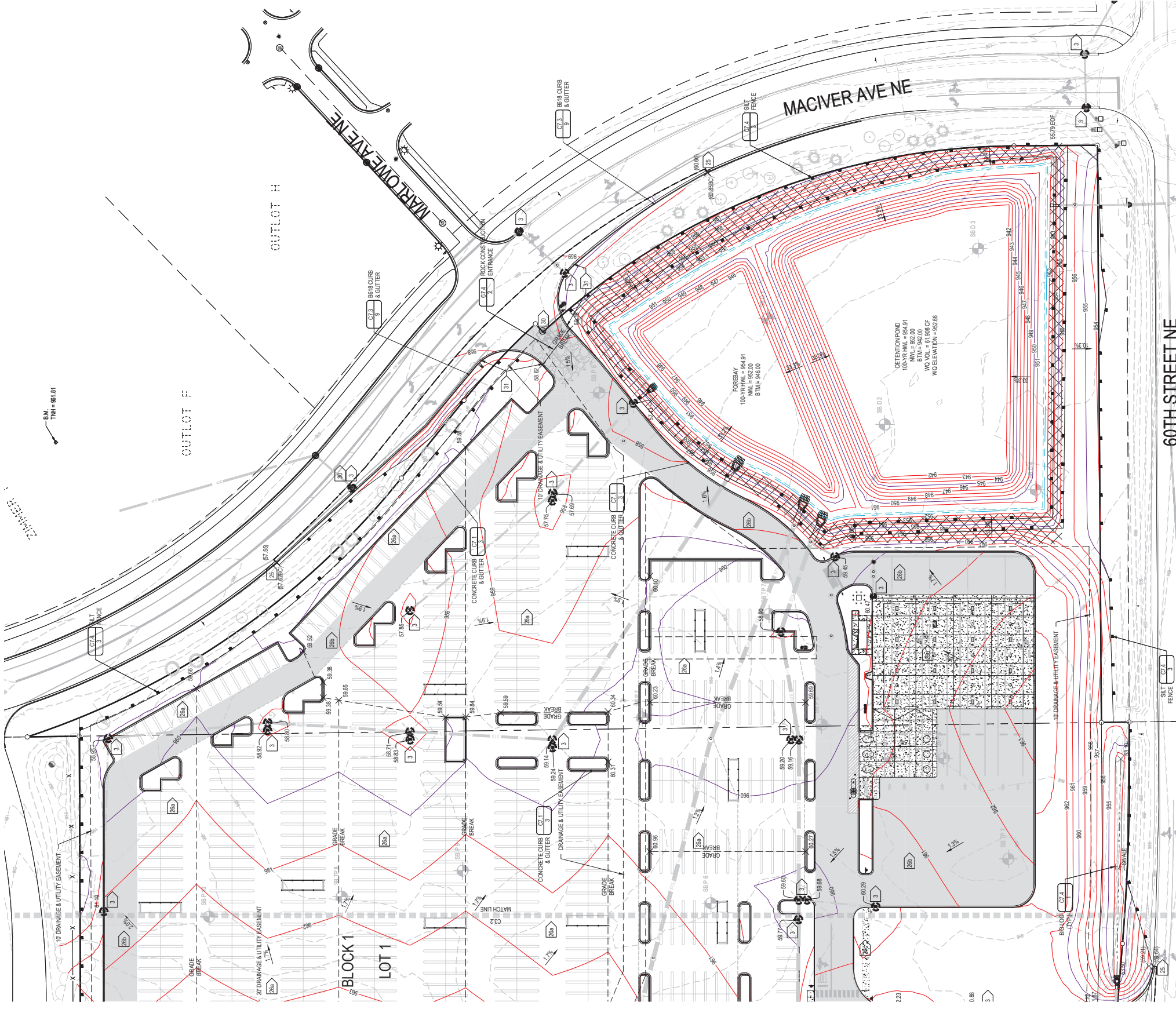
811
 Know what's Below.
 Call before you dig.

Datum Correction
 Plan Elevation: +0.42' = NGVD/08 Elevation

REVISION HISTORY

DATE	ISSUE / REVISION	REVISION
05/01/2024	PRELIMINARY PLAT SUBMITTAL	TOM
05/01/2024	GREEN INK SET	TOM
05/01/2024	REVISED PRELIMINARY PLAT	TOM





DEVELOPER

COSTCO WHOLESALE
 992 LAKE DRIVE
 ISSAQUAH, WA 98027
 TEL (425) 313-8100

MUNICIPALITY

CITY OF Otsego MINNESOTA

PROJECT

COSTCO WHOLESALE
 OTSEGO, MN

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVISION
05/04/2024	PRELIMINARY PLAT SUBMITTAL	TM
05/04/2024	GREEN INK SET	TM
05/04/2024	REVISED PRELIMINARY PLAT	TM

- GENERAL NOTES**
- For construction staking and surveying services contact Landform at 612.252.9070.
 - Final grades in Right-of-Way to be coordinated with final design by Wright County for County Road 37.
 - Install perimeter sediment controls prior to beginning work and maintain for duration of construction. Remove controls after areas contributing runoff are permanently stabilized and slopes of dirt site.
 - Install inlet protection. Windrod RD or CG models as appropriate, or approved equal. Maintain protection until project is stabilized.
 - Limit soil disturbance to the grading limits shown. Schedule operations to minimize length of exposure of disturbed areas.
 - Management practices shown are the minimum requirement. Install and maintain additional controls as work proceeds to prevent erosion and control sediment carried by wind or water.
 - Refer to SWPPP Notes on Sheet C3.3 for additional requirements.
 - Excavate ponds early in the construction sequence. Remove sediment from ponds periodically and after areas contributing runoff are permanently stabilized.
 - Stabilization must be started immediately after final backfilling when the construction activity in that portion of the site has temporarily or permanently ceased and will not resume for 14 calendar days.
 - Seed, Sod, Mulch, Erosion Control Blanket, and Fertilizer shall meet the following Specifications, as modified. Seeded areas without erosion control blanket shall be also mulched.

Estimated Quantities

Soil	Soil	Specification Number	Estimated Quantities
Seed	MNDOT 3876		
MN Type 2-111 @ 100 lb./cu. yd.	MNDOT 3876		
MN Type 2-112 @ 100 lb./cu. yd.	MNDOT 3876		
MN Type 2-112 @ 100 lb./cu. yd.	MNDOT 3882		
Mulch	MNDOT 3885		
Erosion Control Blanket	MNDOT 3881		
Fertilizer (MNDOT Type 3A)	MNDOT 2575		
General Placement			

- GRADING NOTES**
- Contact utility service providers for field location of services 72 hours prior to beginning grading.
 - Refer to the Geotechnical Report prepared by Kiewitler, for additional information on backfill material and groundwater conditions.
 - Remove topsoil from grading areas and stockpile sufficient quantity for reuse. Materials may be mixed from landscape areas for use on site and replaced with excess organic material with prior Owner approval.
 - Remove surface and ground water from excavations. Provide initial lifts of stable foundation material if exposed soils are wet and unstable.
 - Rough grade Building Pad to 12 inches below Finished Floor Elevation (FFE).
 - Refer to Structural Specifications for earthwork requirements for building pads.
 - An Independent Testing Firm shall verify the removal of organic and unsuitable soils, soil correction, and compaction and provide periodic reports to the Owner.
 - Place and compact fill using lift thicknesses matched to soil type and compaction equipment to obtain specified compaction throughout the lift.
 - Compact concrete soils in paved areas to 95% of maximum dry density. Standard Proctor (ASTM D698) except the top 3 feet which shall be compacted to 98% of maximum dry density. Compact granular soils to 98% of maximum dry density. Compact granular moisture content. In granular soils all portions of the embankment shall be compacted to not less than 95% of Modified Proctor Density (ASTM D1557).
 - Coordinate with Architectural for building access locations. Slopes shown on adjacent walks and pavements should continue over steps.

- PAVING NOTES**
- Spot Elevations at curbsides indicate finished elevations unless noted otherwise. See Sheet C4.1 for rim elevations of catch basins.
 - Grades between proposed spot elevations shall be continuous and nonvariable. Spot Elevations shall govern over contour lines.
 - Meet and Match existing curb. Transition as needed.
 - Paving Sections: (Refer to Geotechnical Report prepared by Kiewitler)
 - a. Bituminous Paving (Light Duty)
 - b. Bituminous Paving (Heavy Duty)
 - c. Concrete Highways
 - d. Concrete Drives, Aprons, and Exterior Slabs
 - Concrete blocks:
 - a. Joint spacing shall be as shown.
 - b. Expansion Joints: Saw-cuts - 40 feet max., Curbs - 60 feet max., Pavement 60 feet max., Adjacent to building.
 - c. Construction Joints: Saw-cuts - 8 to 10 feet; Curbs and Aprons - 12 to 15 feet.

- WET CAST/DRY CAST RETAINING WALL NOTES**
- Accessible Paving Slabs and adjacent access sides shall not exceed a 2.00% slope in any direction.
 - Accessible Routes shall have a maximum cross slope of 2.00% and a maximum running slope of 5.00%.
 - Adjust all structure to match pavement elevations.
 - Transition from 6" concrete curb & gutter to 8x18 curb & gutter.

- WET CAST/DRY CAST RETAINING WALL NOTES**
- Dry Cast Concrete Segmental Retaining Wall designed by others. Color to be determined by Owner or Architect.
 - Submit design to City for approval prior to Building Permit issuance.
 - Provide coordination and assurance that related work constructed within the restored earth zone, including fences, underground utilities, guard rails, etc. is in accordance with approved design and does not damage or reinforcing elements of the retaining wall.

LEGEND

SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
(Circle with dot)	Inlet Protection	47 ea.
(Line with cross-hatch)	Silt Fence	6,480 ft.
(Line with vertical dashes)	Composite or Bio Log	79 ft.
(Line with circles)	Vehicle Tracking Pad	3 ea.
(Line with diagonal hatching)	Erosion Control Blanket	25,218 sq. ft.
(Line with horizontal dashes)	Tip Out Curb	
(Line with vertical dashes)	Pavement Sawcut	
(Line with diagonal hatching)	Top of wall	
(Line with diagonal hatching)	Bottom of wall	

811
 Know what's Below.
 Call before you dig.

Datum: Correction
 Plan Elevation: +0.42' = NGVD/89 Elevation

LANDFORM
 From Site to Finish

105 South Fifth Avenue Tel: 612-252-9070
 Suite 513 Fax: 612-252-9077
 Minneapolis, MN 55401 Web: landform.net

FILE NAME: C301/CWC030
 PROJECT NO.: CWC20030

EAST GRADING, DRAINAGE, PAVING & EROSION CONTROL

C3.3

PRELIMINARY
 NOT FOR
 CONSTRUCTION

REVISÉD PRELIMINARY PLAT
 JANUARY 26, 2024

CERTIFICATION

GENERAL NOTES

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

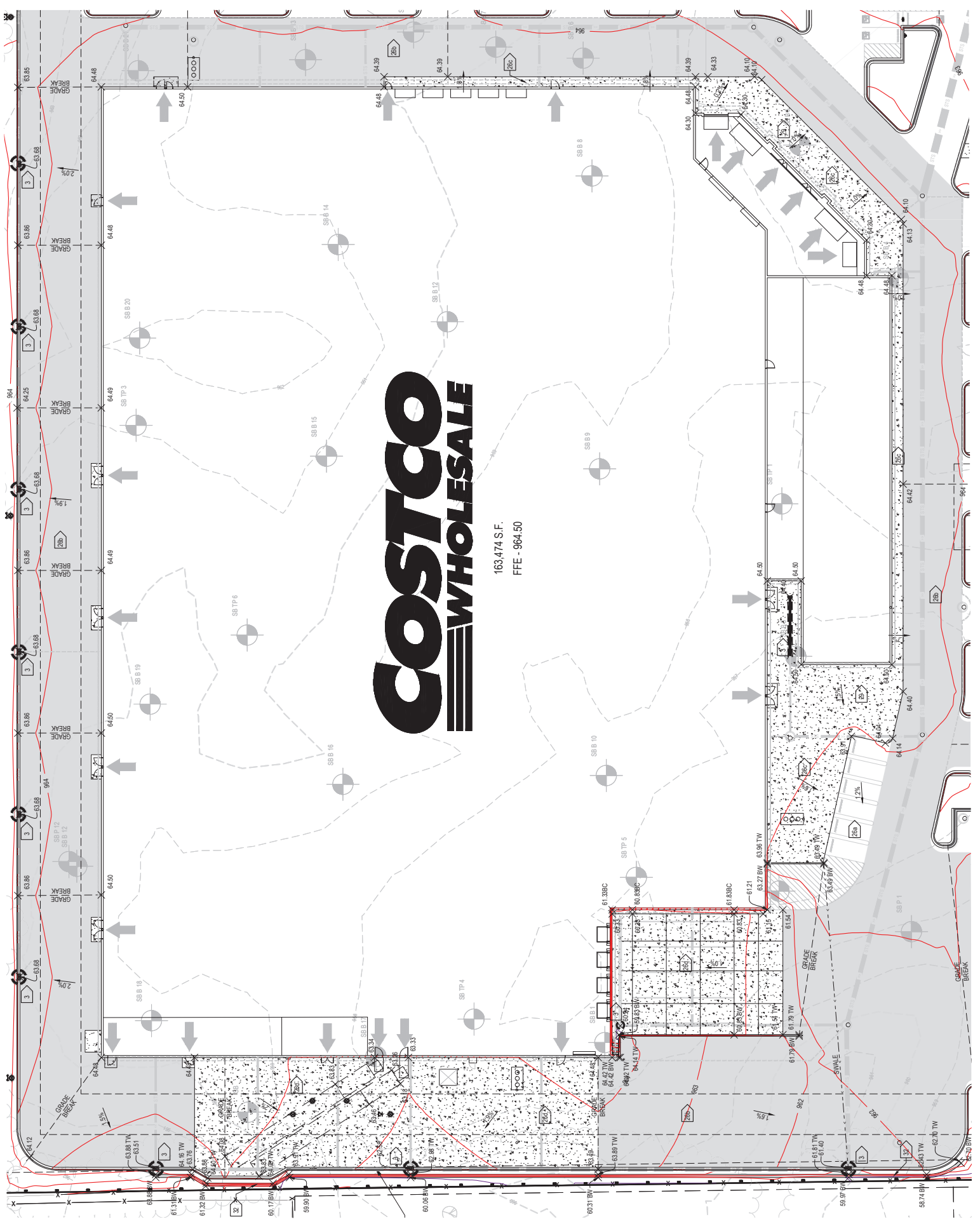
PAVING NOTES

WET CAST/DRY CAST RETAINING WALL NOTES

LEGEND

Scale: 0 50 100

NORTH



163,474 S.F.
FFE - 964.50

COSTCO WHOLESALE

- ### GENERAL NOTES
- For construction staking and surveying services contact Landform at 612.252.9070.
 - Final grades in Right-of-Way to be coordinated with final design by Wright County for County Road 37.
- ### EROSION PREVENTION AND SEDIMENT CONTROL NOTES
- Install perimeter sediment controls prior to beginning work and maintain for duration of construction. Remove controls after areas contributing runoff are permanently stabilized and disposes of off site.
 - Install inlet protection. Wincof RD or CG models as appropriate, or approved equal. Maintain protection until project is established.
 - Limit soil disturbance to the grading limits shown. Schedule operations to minimize length of exposure of disturbed areas.
 - Management practices shown are the minimum requirement. Install and maintain additional controls as work proceeds to prevent erosion and control sediment carried by wind or water.
 - Refer to SWPPP Notes on Sheet C3.5 for additional requirements.
 - Excavate ponds early in the construction sequence. Remove sediment from ponds periodically and after areas contributing runoff are permanently stabilized.
 - Stabilization must be started immediately after final construction when the construction activity in that portion of the site has temporarily or permanently ceased and will not resume for 14 calendar days.
 - Seed, Sod, Mulch, Erosion Control Blanket, and Fertilizer shall meet the following Specifications, as modified. Seeded areas without erosion control blanket shall be disc mulched.

Soil	Seed	Specification Number	Estimated Quantities
MNDOT 3876	MNDOT 3876		
MN Type 2-111 @ 100 lb./ac. - Temporary Erosion Control	MN Type 2-111 @ 100 lb./ac. - Temporary Erosion Control		
MN Type 2-112 @ 100 lb./ac. - Temporary Erosion Control	MN Type 2-112 @ 100 lb./ac. - Temporary Erosion Control		
MNDOT 3882	MNDOT 3882		
MNDOT 3885	MNDOT 3885		
Erosion Control Blanket	MNDOT 3881		
Fertilizer (MNDOT Type 3A)	MNDOT 2575		
General Placement			
 - Reserved.
 - Scope adjacent streets clean daily and sweep clean weekly.
- ### GRADING NOTES
- Contact utility service providers for field location of services 72 hours prior to beginning grading.
 - Refer to the Geotechnical Report prepared by Kiewit/Leiter, for additional information on backfill material and groundwater conditions.
 - Remove material from grading areas and stockpile sufficient quantity for reuse. Materials may be mined from landscape areas for use on site and replaced with excess organic material with prior Owner approval.
 - Remove surface and ground water from excavations. Provide initial lifts of stable foundation material if exposed soils are wet and unstable.
 - Rough grade Building Pad to 12 inches below Finished Floor Elevation (FFE).
 - Refer to Structural Specifications for earthwork requirements for building pads.
 - An Independent Testing Firm shall verify the removal of organic and unsuitable soils, soil correction, and compaction and provide periodic reports to the Owner.
 - Place and compact fill using lift thicknesses matched to soil type and compaction equipment to obtain specified compaction throughout the lift.
 - Compact concrete soils to paved areas to 95% of maximum dry density. Standard Proctor (ASTM D698) except the top 3 feet which shall be compacted to 98% of maximum dry density. Compact granular soils to 98% of maximum dry density. Modified Proctor Density (ASTM D1557).
 - Coordinate with Architectural for building access locations. Slopes shown on adjacent walks and pavements should continue over stoops.
- ### PAVING NOTES
- Spot Elevations at curbsides indicate finished elevations unless noted otherwise. See Sheet C4.1 for rim elevations of catch basins.
 - Grades between proposed spot elevations shall be continuous and nonvariable. Spot Elevations shall govern over contour lines.
 - Meet and Match existing curb. Transition as needed.
 - Paving Sections: (Refer to Geotechnical Report prepared by Kiewit/Leiter)
 - a. Blumhouse Paving (Light Duty)
 - b. Blumhouse Paving (Heavy Duty)
 - c. Concrete Walkways
 - d. Concrete Drives, Aprons, and Exterior Slabs
 - Concrete joints shall be as follows:
 - a. Isolated joints: Divide joints into nominally equal areas unless shown otherwise.
 - b. Expansion Joints: Sawtooths - 40 feet max., Curbs - 60 feet max., Pavement 60 feet max. Adjacent to building.
 - c. Construction Joints: Sawtooths - 8 to 10 feet; Curbs and Aprons - 12 to 15 feet.
 - Accessible Parking Slabs and adjacent access sides shall not exceed a 2.0% slope in any direction.
 - Accessible Routes shall have a maximum cross slope of 2.0% and a maximum running slope of 5.0%.
 - Adjust all structure aims to match pavement elevations.
 - Transition from 6" concrete curb & gutter to 8x18 curb & gutter.
- ### WET CAST/RY CAST RETAINING WALL NOTES
- Dry Cast Concrete Segmental Retaining Wall designed by others. Color to be determined by Owner or Architect.
 - Submit design to City for approval prior to Building Permit issuance.
 - Provide coordination and assurance that related work constructed within the restored earth zone, including fences, underground utilities, guard rails, etc. is in accordance with approved design and does not damage or reinforcing elements of the retaining wall.

DEVELOPER

COSTCO WHOLESALE
895 LAKE DRIVE
ISSAQUAH, WA 98027
TEL: (425) 313-8100

MUNICIPALITY

PROJECT

COSTCO WHOLESALE
OTSEGO, MN

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVISION
05 JAN 2024	PRELIMINARY PLAT SUBMITTAL	TOA
09 JAN 2024	GREEN INK SET	TOA
23 JAN 2024	REVISED PRELIMINARY PLAT	TOA

CERTIFICATION

PRELIMINARY
NOT FOR
CONSTRUCTION

REVISED PRELIMINARY PLAT
JANUARY 26, 2024

IF THE SPANIAL SEAL OR FOR ANY REASON DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED FROM AN INTERIOR REVISION SHEET. THE ENGINEER WILL REQUEST ADDITIONAL DOCUMENTS.

LANDFORM
From Site to Finish

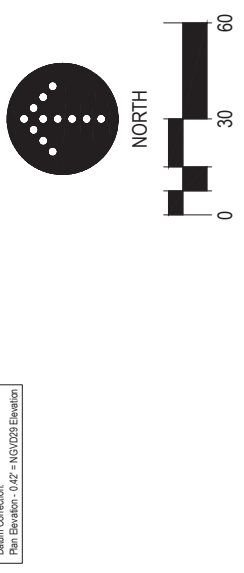
105 South Fifth Avenue Tel: 612-252-9070
Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

FILE NAME: C301/CWC030
PROJECT NO.: CWC20030

**ENLARGED GRADING, DRAINAGE,
PAVING & EROSION CONTROL**

C3.4

LANDFORM and Site to Finish™ are registered service marks of Landform Professional Services, LLC.



LEGEND

SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	Inlet Protection	47 ea.
	Silt Fence	6,480 ft.
	Composite or Bio Log	79 ft.
	Vehicle Tracking Pad	3 ea.
	Erosion Control Blanket	25,218 s.f.
	Tip Out Curb	
	Pavement Sawcut	
	XXX.XX TW	
	XXX.XX BW	

Datum Connection
Plan Elevation: 0.42' = NGVD08 Elevation

NPDES PERMIT AND SWPPP COMPONENTS

- The current **Minnesota Construction Stormwater General Permit (Permit)** dated August 1, 2018 is referenced in this document as the Permit.

The SWPPP includes the following components:

- Construction Documents prepared by Landform
- Stormwater Management Plan prepared by Landform
- SWPPP prepared by the SWPPP Designer
- Geotechnical Report prepared by Hydrotech

All components must be kept onsite or electronically available until the Operator during regular work hours. The Operator shall contact **Costco** if they do not have all of the above documents.

SITE INFORMATION

Site location: Latitude: 45.239857, Longitude: -93.644897

Disturbed area = 28,16 ac.

Pre-construction impervious area within disturbed area = 0.16 ac.

New construction impervious area within disturbed area = 27,47 ac.

No change in impervious area within disturbed area = 17.31 ac.

Type of stormwater management:

- Wet sedimentation

Erosion prevention and sediment control practices are on sheets C3.1 - C3.4.

SITE EVALUATION / ASSESSMENT / PLANNING

- The Operator shall have primary responsibility and significant authority for the development, implementation, maintenance, inspection and amendments to the approved SWPPP. Duties include but are not limited to:
 - Implementing all elements of the SWPPP, including but not limited to:
 - Implementing prompt and effective erosion and sediment control measures
 - Implementing all non-storm water management, and good housekeeping BMPs ensuring that no materials other than storm water are discharged to quantities, which will have an adverse effect on receiving waters or stormwater system.
 - Conducting routine inspections and maintenance
 - Ensuring elimination of all unauthorized discharges
 - Ensuring maintenance of all necessary connections / repairs are made immediately, and that the project complies with the SWPPP, the Permit, and approved plans at all times.

STORMWATER POLLUTION PREVENTION MANAGEMENT MEASURES

- Operator must develop pollution prevention management measures, implement good housekeeping BMPs, and follow all applicable laws and general requirements of the construction contract.
- The Operator shall minimize the exposure to stormwater of any of the products, material, or wastes stored on site that may wash downstorm or contribute to stormwater.
- Building products that have the potential to leach pollutants must be under cover.
- Chemicals and landscape materials shall be under cover to prevent the discharge of pollutants.
- Operator to track progress of the following items on site maps: portable toilets, material storage areas, vehicle and equipment fueling and maintenance areas, concrete washouts, paint and soluo washouts, dumpsters or other trash and debris containers, spill kits, and other non-stormwater management BMPs, any temporarily removed structural BMPs, any changes to the structural BMPs.
- Solid waste- collect sediment, asphalt and concrete millings, loading debris, paper, plastic, fabric, construction and demolition debris and other wastes must be disposed of properly and must comply with MPCA disposal requirements.
- Hazardous waste- oil, gasoline, paint and any hazardous substances must be properly stored in sealed containers to prevent spills, leaks or other discharge. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal of hazardous waste or materials must be in compliance with Minn. R. Ch. 7045 including secondary containment as applicable.
- Portable toilets must be positioned so that they are secure and will not be tipped or knocked over.
- Concrete and other washout water: operator must provide effective containment for all liquid and solid wastes generated by washout water. Washout water must be contained and stored in a manner that prevents the discharge of pollutants to receiving waters or runoff from the washout operations or areas. Liquid and solid wastes must be disposed of properly and in compliance with MPCA rules. A sign must be installed adjacent to each washout facility that requires site personnel to utilize the proper facilities for disposal of concrete and other washout wastes.
- External vehicle washing: external washing of trucks and other construction vehicles must be limited to a defined area of the site. Runoff must be contained and waste properly disposed of. An engine degreasing is allowed on site.
- Operator shall take responsible steps to prevent the discharge of spilled or leaked chemicals, including fuel, from any area where they will be loaded or unloaded as detailed in the Permit.

SWPPP CONTACT AND TRAINING INFORMATION

- Owner:
Costco Wholesale
599 Lake Drive
Issaquah, WA 98027
(425) 313-6100
- Operator:
To Be Determined. Contact Owner until Contractor is Selected.
- Long Term Maintenance And Operator:
To Be Determined. Contact Owner until Contractor is Selected.
- SWPPP Designer:
Tom Meyer, P.E.
Landform Professional Services
105 South Fifth Avenue, Suite 513
Minneapolis, MN 55401
612.392.8070
tmeyer@landform.net
- SWPPP Inspector / Manager:
To Be Determined. Contact Owner until Contractor And SWPPP Inspector
- BMP Installation And Repair:
To Be Determined. Contact Owner until BMP Installer And Maintainer is Selected.
Certification: Exp.

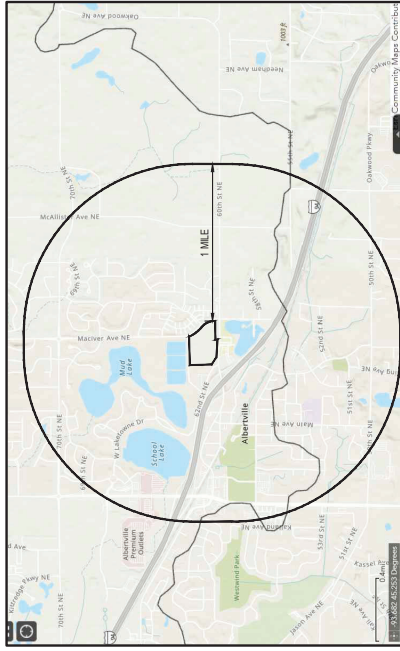
DESCRIPTION OF CONSTRUCTION ACTIVITY

- Construction activity includes erosion and sediment control BMPs installation, clearing and grubbing, site grading, utility installation, building construction, paving, and landscaping.

SCHEDULE OF BMP INSTALLATION AND CONSTRUCTION ACTIVITY

- Install sediment control BMPs prior to start of other site work. Refer to Grading, Drainage, Paving and Erosion Control sheet(s) for initial locations of BMPs.
- Protect infiltration areas with construction fencing. Install fencing prior to site grading or within 24-hours of excavating an infiltration basin.
- Install perimeter sedimentation basins prior to uptake disturbance. Install perimeter sediment control BMPs around normal water levels within 48-hours of completion of basin grading.
- Stabilize outlets from permanent sedimentation basins within 24-hours of outlet construction.
- Perform work in phases to minimize disturbed area at any one time. Operator to develop phasing plan prior to start of work. Open work areas should be limited to those that can be managed and inspected within required time frames.
- Site topsoil from areas to be disturbed and stockpile with perimeter sediment control BMPs. Provide stabilization if stockpile is left longer than 14 days.
- Rough grade site.
- Install utilities.
- Install small utilities (gas, electric, communications).
- Final grade pavement areas and compact subgrade.
- Lay down pavement aggregate and compact.
- Install curb and gutter. Buidfill after a minimum of three days and provide a minimum of two rolls of sod at the back of curb.
- Construct building / addition and site features.
- Construct site walks and paths.
- Provide final stabilization.
- Connect infiltration practices to storm sewer inlets.
- Remove temporary BMPs and dispose of properly.

WATERS WITHIN ONE MILE OF SITE



MN SPECIAL (PROHIBITED, RESTRICTED, OTHER) & IMPAIRED WATERS

- Mud Lake is not impaired based on the current USEPA 303(g) clean water act list, is within 1 mile of this site, and does not discharge to it.
- School Lake is not impaired based on the current USEPA 303(g) Clean water act list, is within 1 mile of this site, and stormwater does not discharge to it.

EROSION PREVENTION AND SEDIMENT CONTROL

- See Grading, Drainage, Paving and Erosion Control sheets for the location and type of temporary erosion prevention and sediment control BMPs. See Grading and Erosion, Utility, and Landscape sheets for the location and type of permanent erosion prevention and sediment control BMPs.
- Minimize Disturbed Areas and Protect Natural Features and Soil
Appropriate construction practices (e.g., construction phasing, vegetative buffer strips, horizontal slope grading) shall be used to minimize erosion.

Areas not to be disturbed (buffers, infiltration basins, etc.) shall be protected with construction or fill berms before work begins. Operator shall develop methods to minimize soil compaction outside of building pads, pavement areas and utility trenches and shall use tracked equipment wherever practicable.

Topsoil shall be salvaged and reused to the extent practicable.

Phase Construction Activity

Operator must not disturb more land than can be effectively inspected and maintained.

Sediment control practices shall be established on all down gradient premises before any upgradient land disturbing activities begin. These practices shall remain in place until final stabilization has been established in accordance with the Permit.

The timing of the installation of sediment control practices may be adjusted to accommodate short term activities such as clearing or grubbing, or passage of vehicles. Any short-term activity must be completed as quickly as possible and the sediment control practices shall be installed immediately after the activity is completed. However, sediment control practices shall be installed before the next precipitation event even if the activity is not complete.

Control Stormwater Runoff onto and Through the Project

The normal water perimeter of any temporary or permanent drainage ditch to swale that drains water from any portion of the project shall be maintained and not reamed for 14 calendar days. Stabilization must be complete within 14 days of cessation of construction activity.

Temporary soil stockpiles shall have all fence or other effective sediment controls, and cannot be placed in surface waters, including storm water conveyance such as curbs and gutter systems, or conduits and ditches unless there is a bypass in place for the storm water.

Temporary or permanent ditches or swales that are being used as a sediment containment system with properly designed rock ditch shall be inspected and maintained to be installed. These areas shall be stabilized within 24 hours after no longer being used as a sediment containment system.

Stabilize Soils

All exposed soil areas, including stockpiles, must be stabilized.

Stabilization must be started immediately to limit soil erosion when the construction activity in that portion of the site has temporarily ceased and will not resume for 14 calendar days. Stabilization must be complete within 14 days of cessation of construction activity.

Temporary soil stockpiles shall have all fence or other effective sediment controls, and cannot be placed in surface waters, including storm water conveyance such as curbs and gutter systems, or conduits and ditches unless there is a bypass in place for the storm water.

Temporary stockpiles without significant silt, clay or organic components (e.g. clean aggregate stockpiles, demolition concrete stockpiles, sand stockpiles) and the constructed base components of roads, parking lots and similar surfaces, are exempt from this requirement.

Perimeter sediment control measures must be in place prior to the placement of any stockpiles.

Any erosion control netting shall be "welded freely" and of a natural type that can decompose and shall have non-welded movable joints.

Any sediment control device made of soil must be stabilized within 24 hours.

Protect Slopes

Operator shall avoid worked slopes with a grade of 3:1 or greater, when practicable. Grading on slopes with a graded 3:1 or steeper will require techniques such as phasing and stabilization practices designed for steep slopes (e.g. slope capping and terracing).

Protect Storm Drain Inlets

All storm drain inlets shall be protected by appropriate BMPs during construction until all sources with potential for discharging to the inlet have been stabilized. This protection may be temporary control of adjacent safety concern has been identified.

Provide Energy Dissipation at All Pipe Outlets within 24 Hours

After connection to a surface water or permanent stormwater treatment system.

Establish Perimeter Controls and Sediment Barriers

Prior to installing soils on a project site, establish sediment control BMPs on all down-gradient premises and where site discharges to public waters.

Retain Sediment On-site and Control Dewatering Practices

Discharge shall not cause nuisance conditions, erosion in receiving channels, adversely affect receiving water or impact wetlands, or downstream properties. Discharge points shall be adequately protected from erosion and scour by accepted energy dissipation measures.

Discharge water containing oil or grease shall be treated to remove oil or grease prior to discharge to surface waters.

Refer to Permit requirements for temporary or permanent sediment basins.

Discharge shall be photographed at the beginning of discharge and at least every 24 hours afterward, while discharge is occurring.

If nuisance conditions result from dewatering, dewatering shall be stopped until nuisance condition can be remedied.

Establish Stabilized Construction Exit

Vehicle tracking pads shall be established as shown on the Grading, Drainage, Paving and Erosion Control sheets to minimize tracking of sediment from the construction site onto adjacent streets.

Infiltration Basin Protection

Operator must not excavate infiltration systems to final grade or within three (3) feet of final grade until the contributing drainage area has been constructed and fully stabilized unless rigorous erosion prevention and sediment controls have been installed.

When excavating an infiltration system to within three (3) feet of final grade, operator shall mark off, and protect the area from heavy construction equipment to prevent compaction of soils.

Dewatering and Basin Drainage

Permittees must discharge liquid or sediment-laden waters related to dewatering or basin draining to a temporary or permanent sediment basin. Discharges must not cause erosion or scour near the discharge points.

Remove Sediment from Surface Waters

All sediment deposits and debris must be removed from surface waters, including drainage ways, catch basins, and other drainage systems, and fill removal areas established within seven (7) days.

SURFACE WATER BUFFERS

- 50 foot buffers from Surface Waters have not been maintained, therefore double all fence has been included within 50' of the Surface Waters.

TEMPORARY SEDIMENTATION BASINS

- This project does have more than ten (10) disturbed areas draining to a common location and the site does not drain to an impaired or special water, therefore a temporary sedimentation basin is not required. Refer to sheets C3.1-C3.4 for further information.
- Temporary sediment basins shall provide treatment to runoff before it leaves the construction site or enters surface waters. The contractor shall comply with the following requirements:
 - Sedimentation basins must provide live storage of runoff resulting from the 2-year 24-hour rainfall event from each acre of the site. The design shall be based on a 24-hour storm event with a peak flow rate of 1.0 cfs per acre. The design shall be based on a peak flow rate of 1.0 cfs per acre. The design shall be based on a peak flow rate of 1.0 cfs per acre. The design shall be based on a peak flow rate of 1.0 cfs per acre.
 - Discharge from temporary sedimentation basins will be withdrawn from the surface in order to minimize the discharge of pollutants.
- Discharge from basin draining shall not adversely affect the receiving water or downstream properties. Contractor will visually check to ensure adequate treatment has been obtained and that nuisance conditions will not result from the discharge.
- Any discharge observed to be occurring during the inspection shall be recorded, described, and photographed.
- If any proposed temporary BMPs are not working as intended refer to the "Stormwater Compliance Assistance Toolkit for Small Construction Operators" (MPCA, 2017) for additional information. Operator shall contact the SWPPP Designer for additional requirements and information.

POST CONSTRUCTION / PERMANENT BMPs

- See Grading and Drainage, Utility, and Landscape sheets for post construction and permanent stormwater BMPs.

INSPECTIONS AND MAINTENANCE

- Permittees must ensure that a trained person will inspect the entire construction site at least once every seven (7) days during active construction and within 24 hours after a rainfall event greater than 0.5-inches in 24 hours.
- Records of inspections shall include all maintenance activities and must be recorded within 24 hours of the inspection and retained with the SWPPP.
- Inspections shall include stabilized areas, erosion prevention and sediment control BMPs, and infiltration areas. Additionally, areas adjacent to the project shall be inspected.
- Surface waters on or adjacent to the site must be inspected for evidence of erosion or sediment deposition.
- Permittees must record all inspection and maintenance activities within 24 hours of being conducted as detailed in the Permit. Inspection Records content shall include:
 - Date and time of inspection.
 - Name of person conducting inspection.
 - Location of inspection.
 - Construction activities occurring during inspection, where applicable, which are included in the SWPPP.
 - Construction activities occurring during inspection, where applicable, which are included in the SWPPP.
 - Dates of all rainfall events greater than 1/2 inch in 24 hours (refer to Permit for measurement requirements).
 - Approved discharge must be recorded, including photographs, descriptions of discharge (color, odor, smell) or any dispersed solids of debris, or other obvious indications of pollution, and specific location of discharge location.
 - Any photographs of debris or other obvious indications of pollution must be documented within seven calendar days as described in the Permit.
 - Any photographs of dewatering activities and documentation of nuisance conditions resulting from dewatering.

- BMP Maintenance:
 - Nonfunctional BMPs must be repaired or replaced by the end of the next business day after discovery unless a different time frame is indicated.
 - Follow the designers or manufacturer's recommended maintenance procedures for all BMPs.
 - Remove sediment from paved roadways to prevent soil from returning to the BMP during subsequent rain events.
 - Remove sediment from paved roadways within one calendar day of discovery.
 - Remove sediment from around BMPs protecting storm drain inlets.
 - Remove sediment from paved roadways within one calendar day of discovery.
 - Ensure that construction support activities, including borrow areas, waste areas, contractor work areas, and material storage areas and dedicated concrete and asphalt batch plants are cleaned and maintained.
 - Replace damaged BMPs that no longer operate effectively.

- Any temporary or permanent sediment basin that has the water quality volume reduced by half shall be drained and have the sediment removed within 72 hours of discovery.
- Any basin that has the water quality volume reduced by half shall be drained and have the sediment removed within 72 hours of discovery.

RECORD KEEPING / RECORD RETENTION

- The SWPPP (signed or copied), including all changes, but not inspections and maintenance records, shall be kept at the site during construction by the Owner / Operator who has operational control of that portion of the site. The SWPPP can be kept in either the field office or in an on-site vehicle during normal working hours.
- All Owner(s) must have the SWPPP along with the following additional records, not for free (3) years after submittal of the Notice of Termination (NOT). This does not include any records after submittal of the NOT.
 - The following is a list of records that shall be kept at the project site available for inspections to review:
 - Copy of the SWPPP, with any modifications;
 - Inspection and maintenance records;
 - Permittee operation and maintenance agreements;
 - Calculations for the design of temporary and permanent stormwater management systems;
 - Any other permits required for the project;
 - All permit record certificates and maintenance agreements that have been implemented, including all right-of-way contracts, covenants and other binding requirements regarding perpetual maintenance.

LOG OF CHANGES TO THE SWPPP / AMENDMENTS

- The Owner / Operator must amend the SWPPP within seven (7) days to include additional requirements, such as additional or modified BMPs, designs to correct problems identified during inspections, or address situations as detailed in the Permit.

FINAL STABILIZATION

- The Owner / Operator must ensure final stabilization of the site. Final stabilization includes:
 - Final stabilization of the site.
 - Vegetative areas must have perennial cover with a density of 70% of expected final growth.

TERMINATION OF COVERAGE

- Owner / Operator wishing to terminate coverage under the Permit must submit a Notice of Termination (NOT) to the SWPPP Designer. The Permit is required until a NOT is submitted. Refer to the Permit for details. Conditions for submitting a NOT include:
 - Site must have achieved final stabilization (refer to section above).
 - The permanent stormwater treatment and conveyance systems must be clean and all accumulated sediment removed.
 - The temporary synthetic erosion prevention and sediment control BMPs must be removed from the site and disposed of properly.

DEVELOPER

COSTCO WHOLESALE

599 LAKE DRIVE

ISSAQUAH, WA 98027

TEL: (425) 313-6100

MUNICIPALITY



PROJECT



OTSEGO, MN

ISSUE / REVISION HISTORY

DATE	REVISION / REVISION	REVIEW
08 JAN 2024	PRELIMINARY PLAT SUBMITTAL	TM
09 JAN 2024	OWNER REVIEW	TM
23 JAN 2024	REVISED PRELIMINARY PLAT	TM

CERTIFICATION

PRELIMINARY
NOT FOR
CONSTRUCTION

REVISED PRELIMINARY PLAT

JANUARY 26, 2024



105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401

Tel: 612-252-9070

Fax: 612-252-9077

Web: landform.net

FILE NAME: C:\BSC\WC3\30DWG

PROJECT NO.: CWC23030

MN SWPPP NOTES

C3.5

GENERAL NOTES

- For construction staking and surveying services contact Landform at 612.252.9070.
- UTILITY NOTES**

 - Pipe Materials
 - DP Class 51 (ANSI A151.1/MVMA C151)
 - Copper Type K (ASTM B88)
 - PVC Schedule 40 (ASTM D1785, D2665, F881, F448 & F1760)
 - SRP 35 (ASTM D3324, F477 & F891)
 - PVC Schedule 40 (ASTM D1785, D2665, F881, F448 & F1760)
 - RCP 12-18" Class 5 (ASTM C79)
 - RCP 21" Class 4 (ASTM C79)
 - HDPE - Corrugated Smooth Interior, Water Tight (ASTM D3339, ASTM D4976, ASTM F2306, AASHTO M252)
 - HDPE - Compacted & Perforated (ASTM F405 & F897).
 - Drain Tile
 - 1" x 1" x 1/4" Sintered Glass Block
 - 2" x 2" x 1/4" Sintered Glass Block

DEVELOPER

COSTCO WHOLESALE
 995 LAKE DRIVE
 ISSAQUAH, WA 98027
 TEL (425) 313-8100

MUNICIPALITY



PROJECT



OTSEGO, MN

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVISION
06 JAN 2024	PRELIMINARY PLAT SUBMITTAL	TM
09 JAN 2024	GREEN IN SET	TM
20 JAN 2024	REVISED PRELIMINARY PLAT	TM

CERTIFICATION

PRELIMINARY
 NOT FOR
 CONSTRUCTION

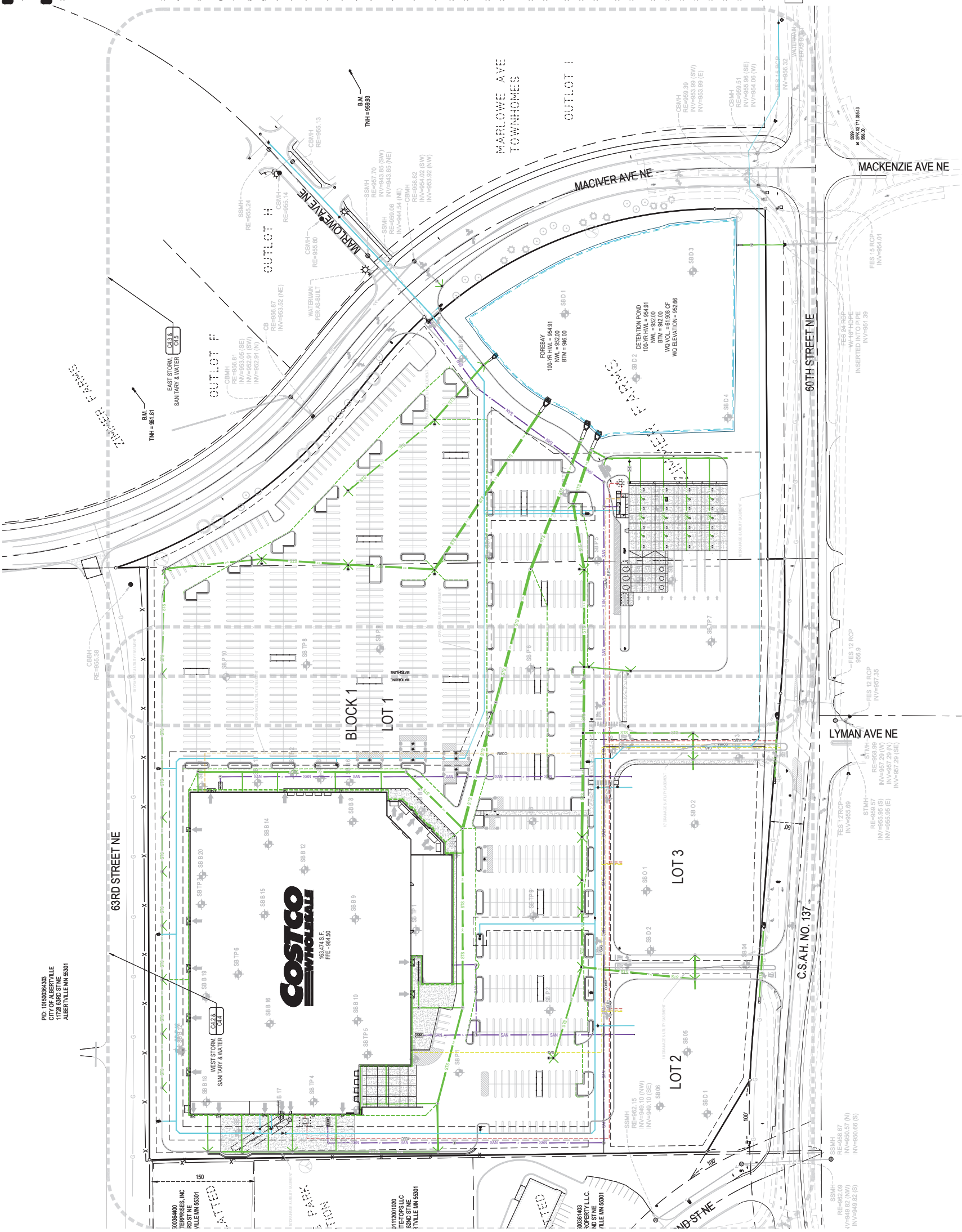
REVISED PRELIMINARY PLAT

JANUARY 26, 2024



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 Minneapolis, MN 55401 Web: landform.net
 FILE NAME: C401CWC030
 PROJECT NO.: CWC20030

OVERALL UTILITIES
C4.1



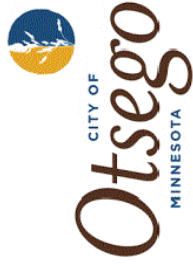
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DEVELOPER

COSTCO WHOLESALE

995 LAKE DRIVE
ISSAQUAH, WA 98027
TEL (425) 313-8100

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PROJECT



OTSEGO, MN

ISSUE / REVISION HISTORY

Table with columns: DATE, ISSUE / REVISION, REVISION. Includes entries for PRELIMINARY PLAT SUBMITTAL, GREEN INK SET, and REVISED PRELIMINARY PLAT.

GENERAL NOTES

- 1. For construction staking and surveying services contact Landform at 612.252.9070.
2. Pipe Materials: DP Class 51 (ANSI/A21.51/NWPA C151), Copper Type K (ASTM B88), PVC Schedule 40 (ASTM D1785/D2665 F88, F488 & F1760), etc.

UTILITY NOTES

- 1. Contact utility service providers to field location of services 72 hours prior to beginning.
2. Contractor to verify location and elevation of all utility points of connection prior to construction of any proposed utilities.
3. Provide means and measures to protect adjacent property from damage during utility installation.
4. All portions of the storm sewer system, located within 10 feet of the building or water service line must be listed in accordance with Minnesota Rules, Part 4714.

CERTIFICATION

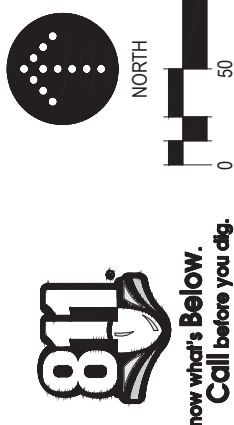
PRELIMINARY NOT FOR CONSTRUCTION

REVISED PRELIMINARY PLAT JANUARY 26, 2024

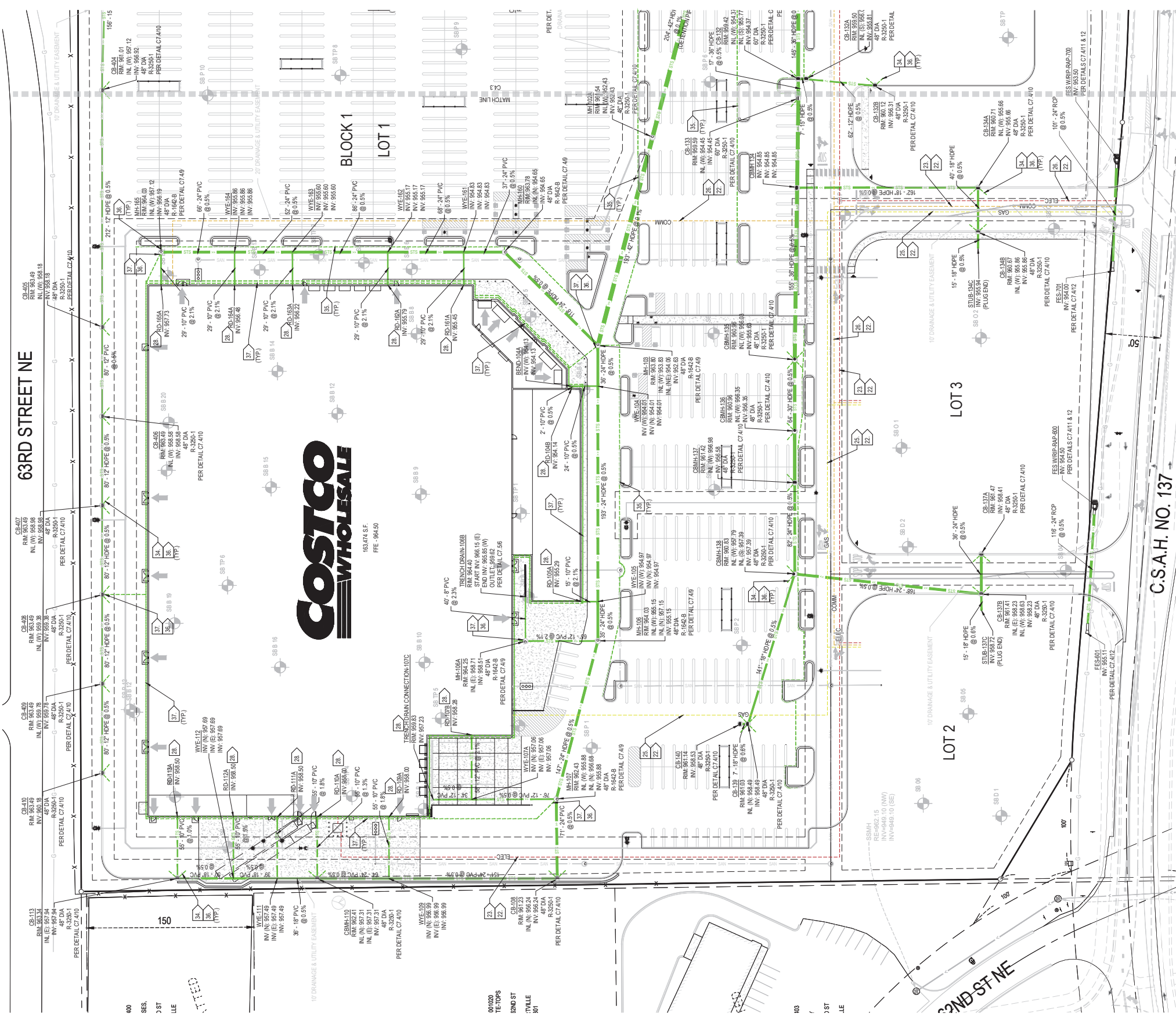


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WEST STORM & PRIVATE UTILITIES C4.2
PROJECT NO. C401/CWC030 CWC20030



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63RD STREET NE

64000 TE TOPS

C.S.A.H. NO. 137

GENERAL NOTES

1. For construction staking and surveying services contact Landform at 612.252.9070.

UTILITY NOTES

- 1. Pipe Materials
2. Pipe Materials
3. Contact utility service providers for field location of services 72 hours prior to beginning.

DEVELOPER
COSTCO WHOLESALE
995 LAKE DRIVE
ISSAQUAH, WA 98027
TEL (425) 313-8100

MUNICIPALITY



PROJECT



OTSEGO, MN

ISSUE / REVISION HISTORY

Table with columns: DATE, ISSUE / REVISION, DRAWN, CHECKED, DESIGNED, DATE

CERTIFICATION

PRELIMINARY
NOT FOR CONSTRUCTION
REVISOR: PRELIMINARY PLAT
DATE: JANUARY 26, 2024

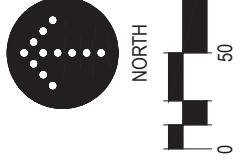
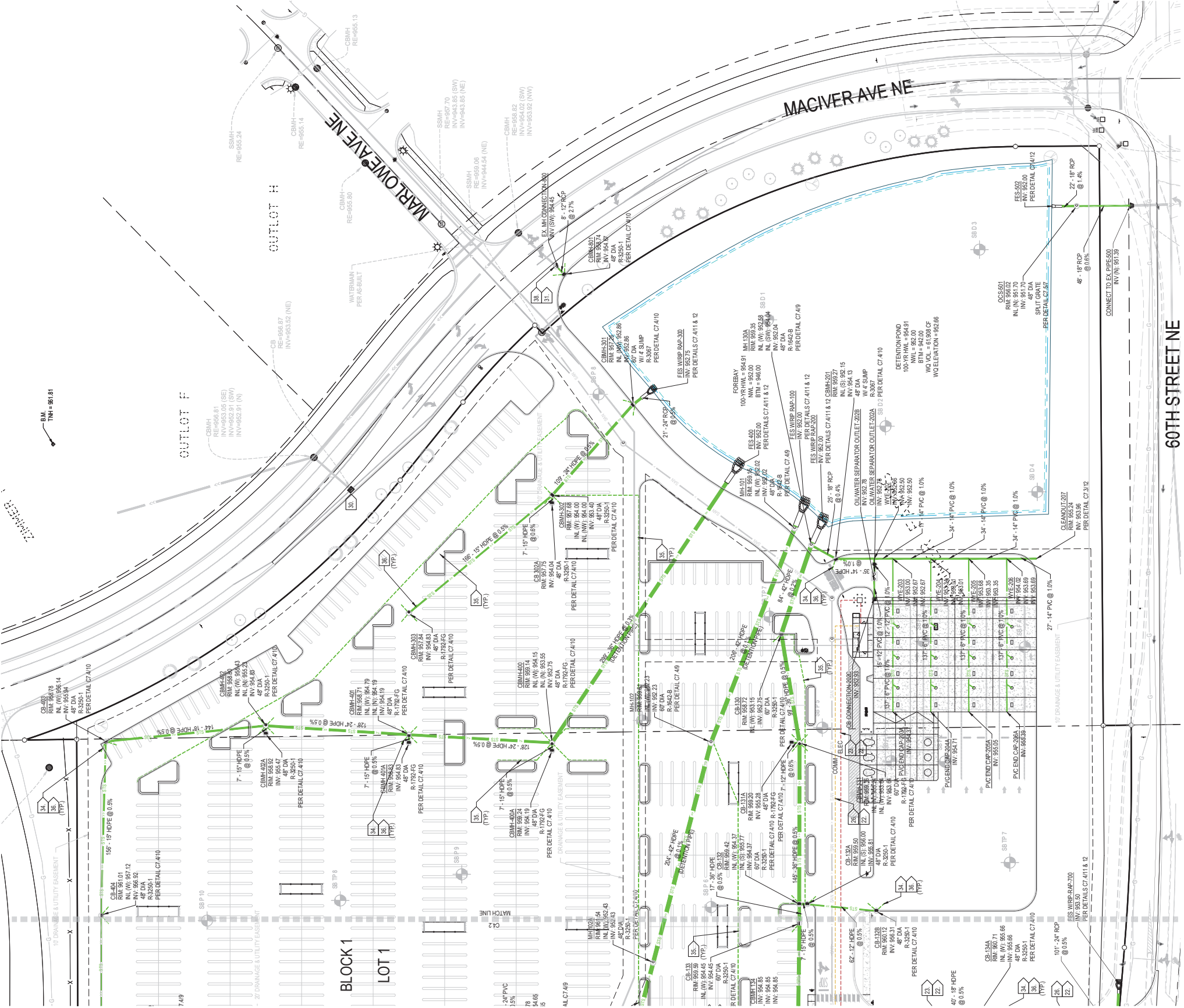
REVISED PRELIMINARY PLAT

JANUARY 26, 2024



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Minneapolis, MN 55401
Tel: 612-252-9070
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EAST STORM & PRIVATE UTILITIES
C4.3
PROJECT NO. C407CWC030
CWC20300



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DATE	ISSUE / REVISION	REVISION
06 JAN 2024	PRELIMINARY PLAT SUBMITTAL	TM
09 JAN 2024	OWNER REVIEW	TM
20 JAN 2024	REVISED PRELIMINARY PLAT	TM

GENERAL NOTES

- For construction staking and surveying services contact Landform #612.252.9070.

UTILITY NOTES

- Pipe Materials
 - DP Class 51 (ANSI/A21.51/MWW C151)
 - Copper Type K (ASTM B88)
 - PVC Schedule 40 (ASTM D1785/D2665 F88, F488 & F1760)
 - SRP 35 (ASTM D3024, F477 & F891)
 - SRP 40 (ASTM D3024, F477 & F891)
 - PVC Schedule 40 (ASTM D1785/D2665 F88, F488 & F1760)
 - RCF 12-1/2" Class 5 (ASTM C79)
 - RCF 21" Class 4 (ASTM C79)
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 - RCF 21" Class 99 (ASTM C79)
 - RCF 21" Class 100 (ASTM C79)
- Drain Tile
 - HDPE - Compigal & Perforated (ASTM F405 & F877)
 - F2306, AASHTO M322
 - HDPE - Corrugated Smooth Interior, Water Tight (ASTM D3339, ASTM D4976, ASTM F2306, AASHTO M322)

- Contact utility service providers to field location of services 72 hours prior to beginning.
- Contractor to fully verify location and elevation of all utility points of connection prior to construction of any proposed utilities. Contractor to notify Engineer immediately if there is any discrepancy.
- Contractor to provide all utility crossings prior to construction of new utilities to verify depths of existing lines. Contact Engineer immediately if any conflicts are discovered.
- Provide means and measures to protect adjacent property from damage during utility installation.
- Pipe lengths shown are from center of structure to center of structure and of end section.
- Install these wires with all non-conductive utilities in accordance with City of Otsego Standards.
- Connect to City utilities in accordance with City of Otsego Standards.
- Contact Otsego Public Works for wet tap inspection.
- Maintain 7.5 feet of cover on water.
- Deflect water to maintain 18-inch minimum outside separation at sewer crossings. Center pipe lengths to provide greatest separation between joints.
- Contact Otsego Public Works Department for flushing and pressure test inspections.
- The water distribution system shall be disinfected per Minnesota Rules, Part 6174.
- Provide 4-inch rigid foam (ASTM D1621) insulation on sanitary sewer less than 7 feet deep.
- Refer to Plan for notes for manhole details. The backfill for manholes must be designed to handle traffic and soil loads. The backfill must be protected from freezing and must comply with all local and state codes.
- All portions of the storm sewer system, located within 10 feet of the building or water service line must be bedded in accordance with Minnesota Rules, Part 6174.
- All joints and connections in the storm sewer system shall be gas-tight or water-tight. Approved resilient rubber joints must be used to make water-tight connections to manholes, catch basins, and other structures.
- Catch basins in curb and gutter are sumped 2 inches below the gutter grade. Refer to Detail 8 on Sheet C7.3.
- Reserved.
- Infiltration shall be 4 inch Schedule 40 PVC bedded 24" below grade. Exposed sleeves 3 feet beyond the edge of pavement. Mark each end of sleeve with 3/4-inch rebar 12 inches below finish grade. (Coordinate with irrigation contractor)
- Coordinate with Private Utilities to provide electric, natural gas, and communications services to building.
- The primary electric transformer and meter are provided and installed by Wright-Hempele Electric. The transformer pad design is provided by the Utility and construction is by the Contractor. Contact Utility for pad detail. The secondary electric and conduits shall be installed by the Electrical Contractor.
- See the lighting plan for additional information.
- CenterPoint Energy will furnish and install gas service piping from the mainline to the meter and the meter. Gas service from the meter shall be installed by the Mechanical Contractor.
- Provide one 4-inch PVC conduit with pull-string from existing telephone service to building.
- Coordinate with Mechanical, Plumbing, and Electrical Drawings for locations of service connections and continuation of services within building.
- Reserved.
- Adjust structures to final grade where disturbed. Comply with requirements of Utility. Meet requirements for traffic loading in paved areas.
- Core drill existing structure for proposed pipe connection. All connections shall be water-tight.
- Reinstall salvaged hydrant.
- Replace 8" DIP watermain with 12" DIP watermain.
- All storm sewer catch basins shall include 10 LF of drain tile under the pavement. Refer to plan for layout. Refer to Detail C7.55.
- Install pavement drain tile as indicated on the plan per Detail C7.55.
- Drain tile inlets to catch basins shall be installed above the top of the highest sewer pipe in the structure.
- Foundation shall refer to Architectural and Structural plans. Connect foundation drain tile to storm structure with solid wall PVC.
- Coordinate with plumbing and structural plans.
- Replace existing catch basin casting with solid cover R-1642B.

Datum Connection:
 Plan Elevation: 0.42' = NGVD25 Elevation

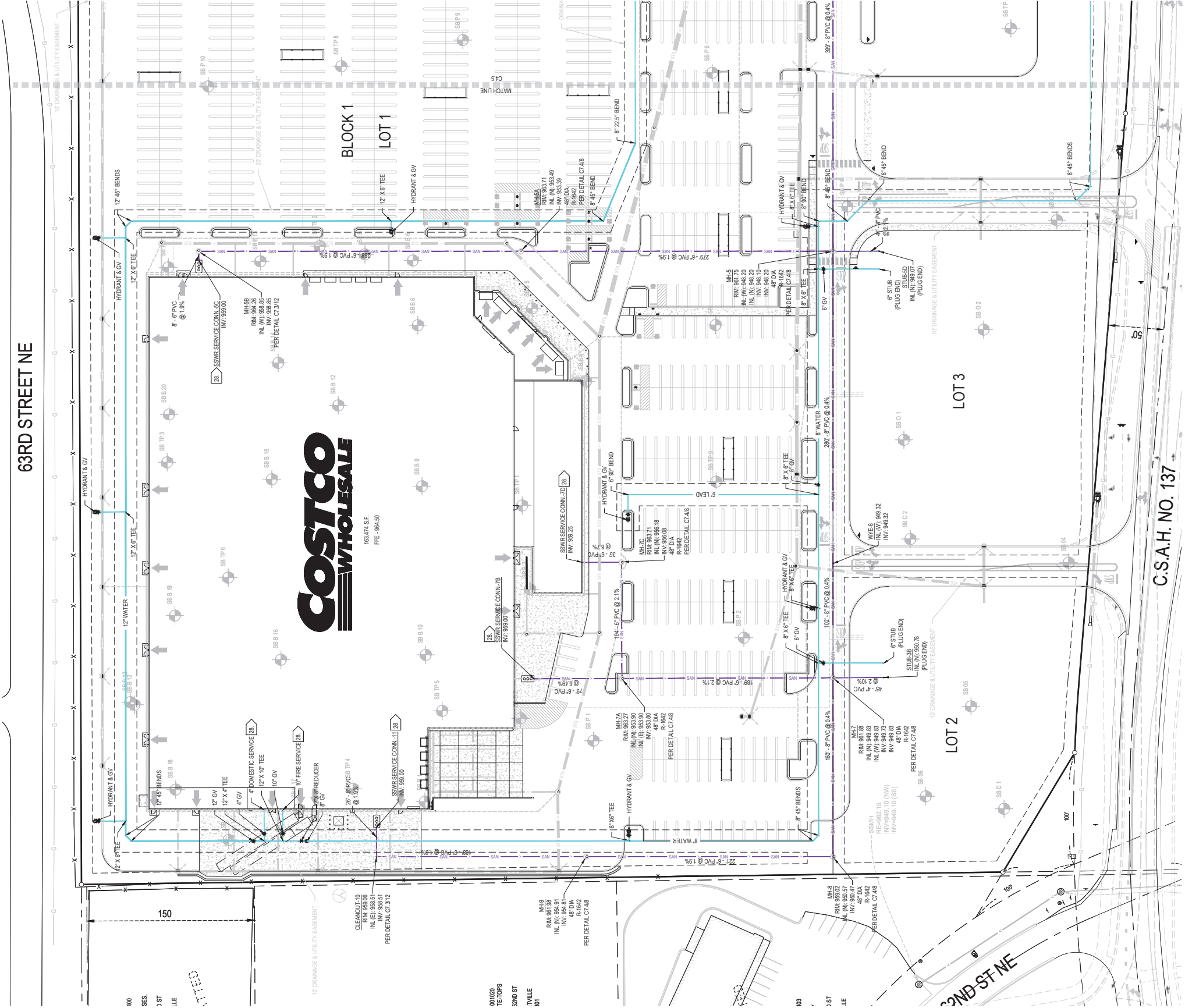
PRELIMINARY
 NOT FOR
 CONSTRUCTION



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FILE NAME: C401CWC030
 PROJECT NO.: CWC20030

WEST SANITARY & WATER
C4.4



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GENERAL NOTES

1. For construction staking and surveying services contact Landform at 612.252.9070.

UTILITY NOTES

- 1. Pipe Materials
- Cast Iron
- Ductile Iron
- PVC
- HDPE
- Steel
- Copper
- Aluminum
- Brass
- Bronze
- Galvanized Steel
- Inconel
- Titanium
- Stainless Steel
- Polyethylene
- Polypropylene
- PVC
- CPVC
- PE
- PEX
- ABS
- HDPE
- LLDPE
- MDPE
- UHMWPE
- PTFE
- FEP
- PFA
- PVDF
- PPS
- PPSU
- PPSI
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2. Contact utility service providers to field location of services 72 hours prior to beginning.
3. Contractor to field verify location and elevation of all utility points of connection prior to construction of any proposed utilities.

4. Contractor to notify Engineer immediately if there is any discrepancy.
5. Contractor to provide all utility crossings prior to construction of new utilities to verify depths of existing lines. Contact Engineer immediately if any conflicts are discovered.

6. Provide means and measures to protect adjacent property from damage during utility installation.
7. Pipe lengths shown are from center of structure to center of structure or end of end section.
8. Install fence wire with all non-conductive utilities in accordance with City of Chicago Standards.

9. Connect to City utilities in accordance with City of Chicago Standards.
10. Contact Chicago Public Works for wet tap inspection.
11. Maintain 7.5 feet of cover on water.

12. Deflect water to maintain 18-inch minimum outside separation at sewer crossings. Center pipe lengths to provide greatest separation between joints.
13. Contact Chicago Public Works Department for flushing and pressure test inspections.

14. The water distribution system shall be installed per Minnesota Rules, Part 6114.
15. Provide 4-inch rigid foam (ASTM D 651) insulation on sanitary sewer less than 7 feet deep.
16. Refer to Ductility plates for manhole interlock detail. The lock and plate must be designed to handle traffic and soil loads. The lock must be protected from freezing and meet comply with all local and state codes.

17. All portions of the storm sewer system, located within 10 feet of the building or water service line must be leaved in accordance with Minnesota Rules, Part 4714.
18. All joints and connections in the storm sewer system shall be gas-tight or water-tight. Approved resilient rubber joints must be used to make watertight connections to manholes, catch basins, and other structures.

19. Catch basins in curb and gutter are sumped 2 inches below the gutter grade. Refer to Detail 8 on Sheet C7.3.
20. Reserved.
21. Inlet pipe shall be 4 inch Schedule 40 PVC buried 24" below grade. Exposed sleeves 3 feet beyond the edge of pavement. Mark each end of sleeve with 3/4-inch rubber 12 inches below finish grade. (Coordinate with irrigation contractor)

22. Coordinate with Private Utilities to provide electric, natural gas, and communications services to building.
23. The primary electric feed, transformer, and meter are provided and installed by Wright-Hemphill Electric. The transformer pad design is provided by the Utility and construction is by the Contractor. Contact Utility for pad detail. The secondary electric and conduits shall be installed by the Electrical Contractor.
24. See the lighting plan for additional information.

25. CenterPoint Energy will furnish and install gas service piping from the mainline to the meter and the meter. Gas service from the meter shall be installed by the Mechanical Contractor.
26. Provide one 4-inch PVC conduit with pull-string from existing telephone service to building.
27. Provide conduits for cable television and other electronic communication.

28. Coordinate with Mechanical, Plumbing, and Electrical Drawings for locations of service connections and continuation of services within building.
29. Reserved.
30. Adjust structures to final grade where disturbed. Comply with requirements of Utility. Meet requirements for traffic loading in paved areas.

31. One drill existing structure for proposed pipe connection. All connections shall be water-tight.
32. Reinstall salvaged hydrant.
33. Replace 8" DIP watermain with 12" DIP watermain.
34. All storm sewer catch basins shall include 10 LF of drain tile under the pavement. Refer to plan per Detail C7.55.

35. Install pavement drain tile as indicated on the plan per Detail C7.55.
36. Drain tile inlets to catch basins shall be installed above the top of the highest sewer pipe in the structure.
37. Foundation details refer to Architectural and Structural plans. Connect foundation drain tile to storm structure with solid wall PVC. Coordinate with plumbing and structural plans.

38. Release existing catch basin casting with solid cover R-1642B.
Datum Connection:
Plan Elevation: 0.42' = NVD25 Elevation

DEVELOPER
COSTCO WHOLESALE
895 LAKE DRIVE
ISSAQUAH, WA 98027
TEL (425) 313-8100

MUNICIPALITY
CITY OF
Otsego
MINNESOTA

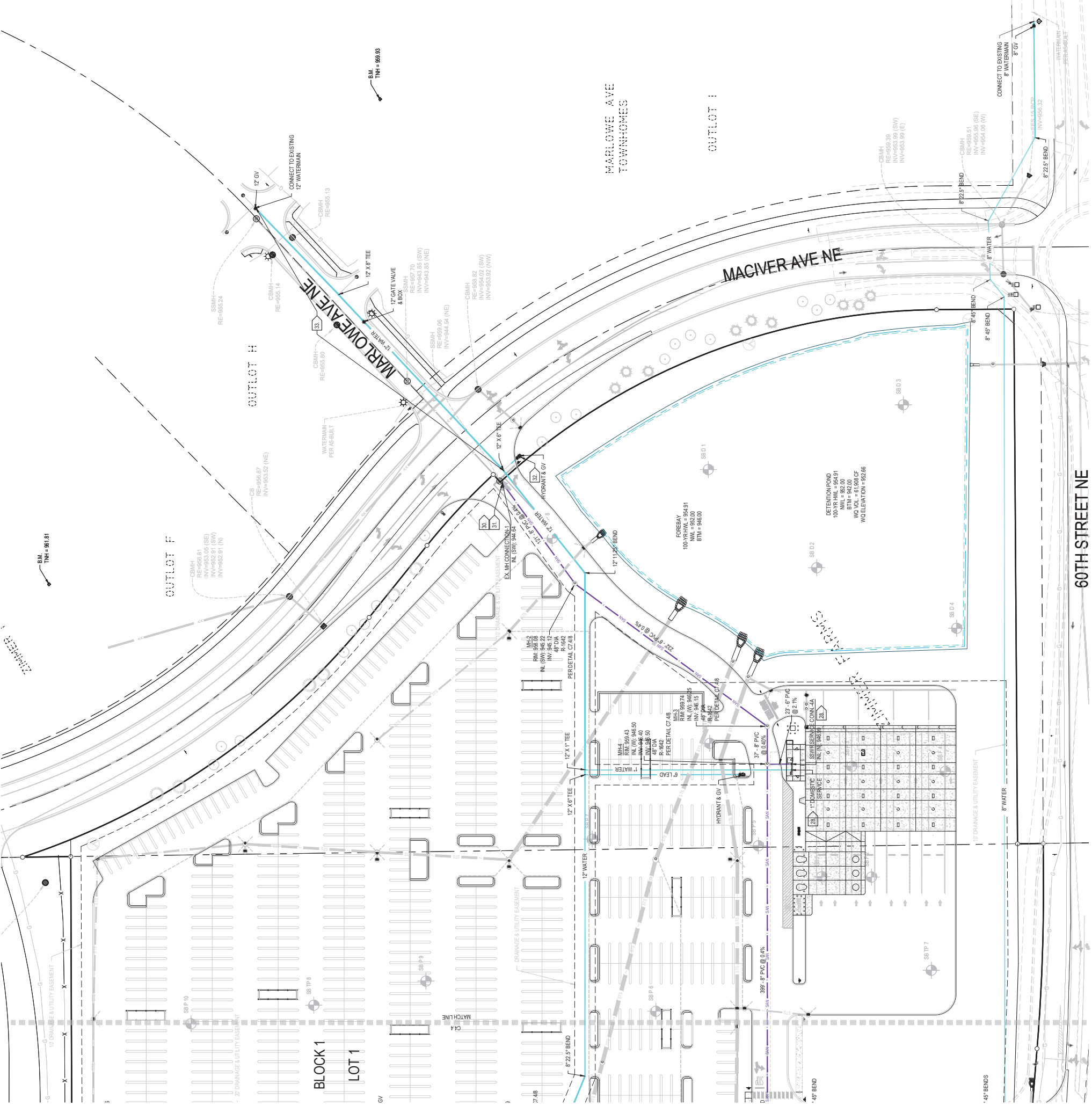
PROJECT
COSTCO WHOLESALE
OTSEGO, MN

ISSUE / REVISION HISTORY
DATE
ISSUE / REVISION
DRAWN
CHECKED
DESIGNED
PREPARED
REVISION

CERTIFICATION
PRELIMINARY
NOT FOR CONSTRUCTION

REVISED PRELIMINARY PLAT
JANUARY 26, 2024

LANDFORM
East Sanitary & Water C4.5
105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401
Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net



811
Know what's Below.
Call before you dig.
NORTH
Scale: 0, 50, 100



DATE	ISSUE / REVISION	REVISION
05 JAN 2024	PRELIMINARY PLAT SUBMITTAL	TM
09 JAN 2024	REVISIONS TO PRELIMINARY PLAT	TM
20 JAN 2024	REVISED PRELIMINARY PLAT	TM

PRELIMINARY
NOT FOR
CONSTRUCTION

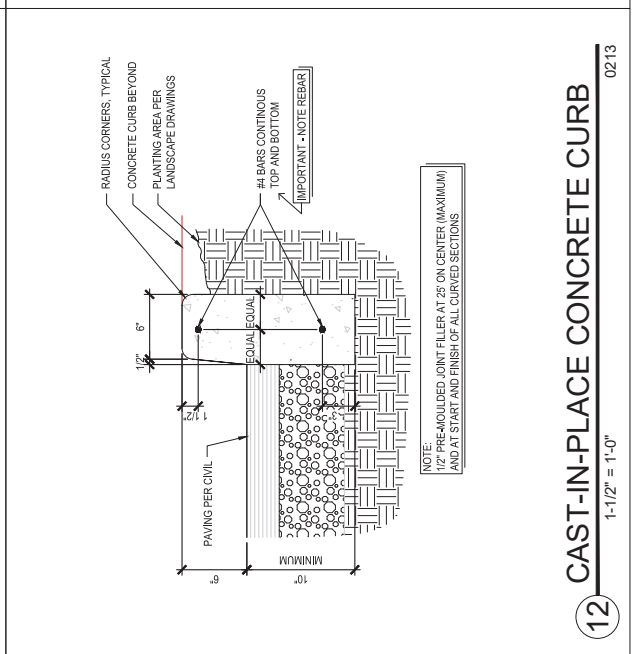
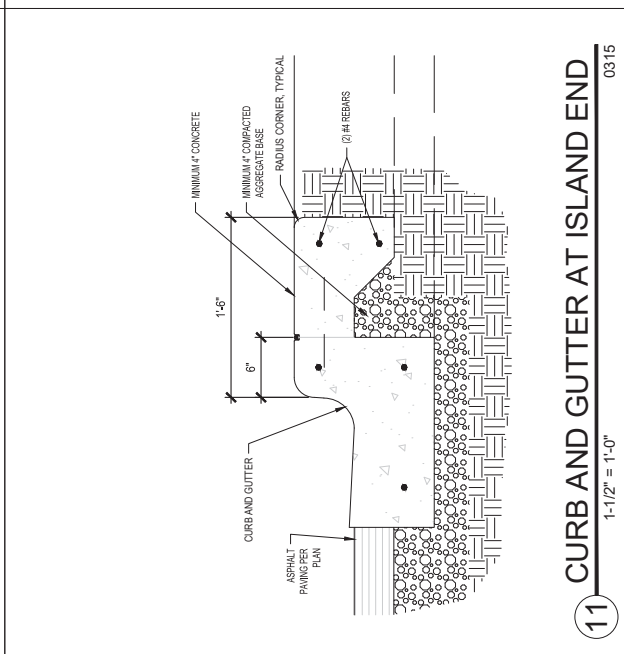
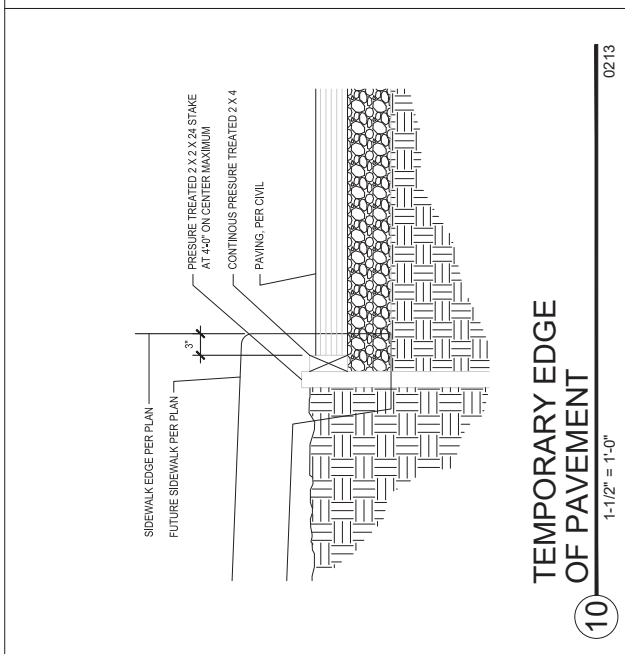
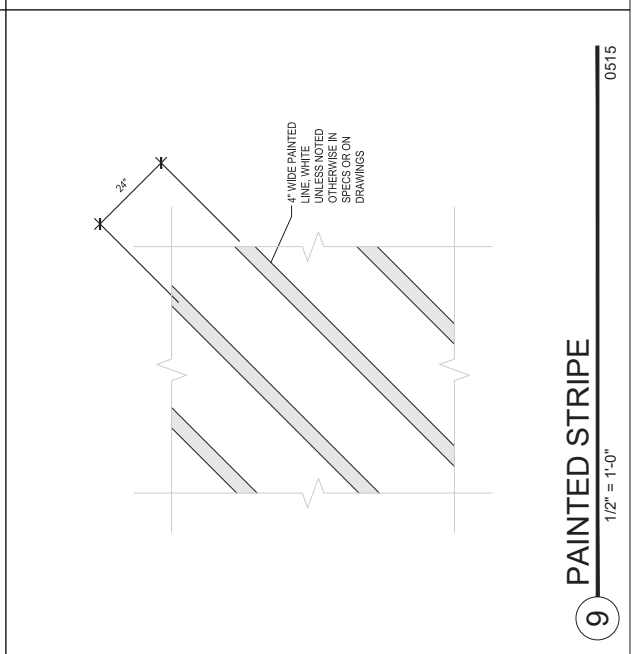
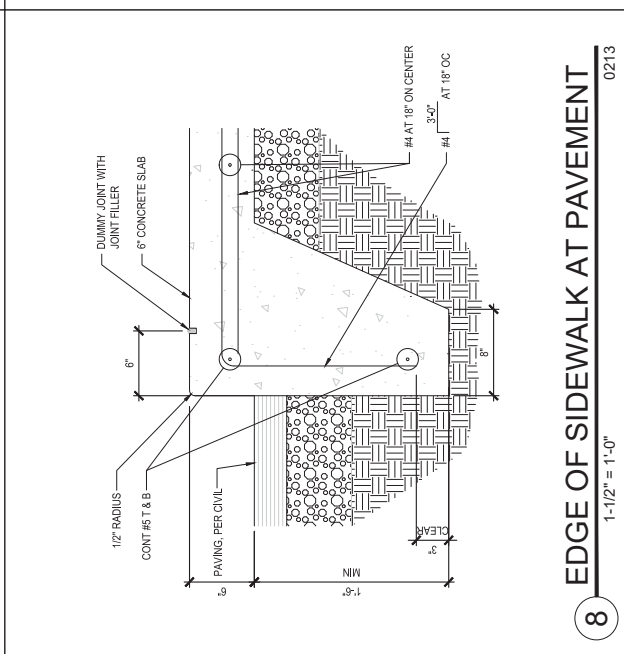
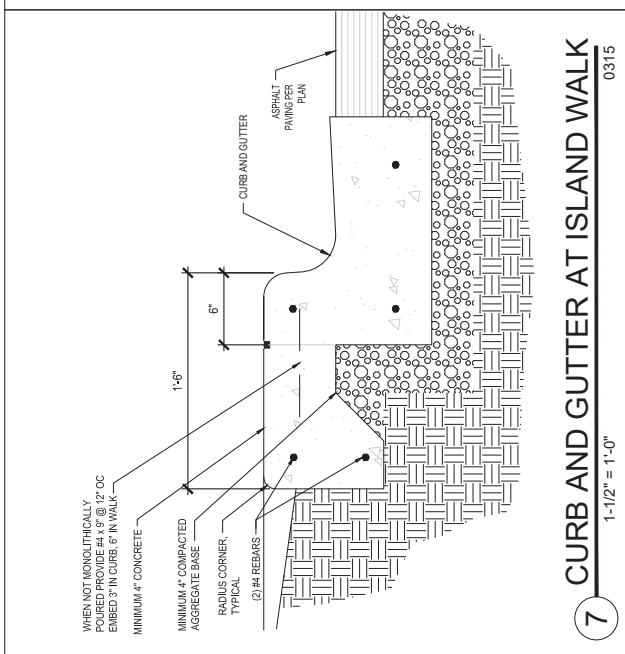
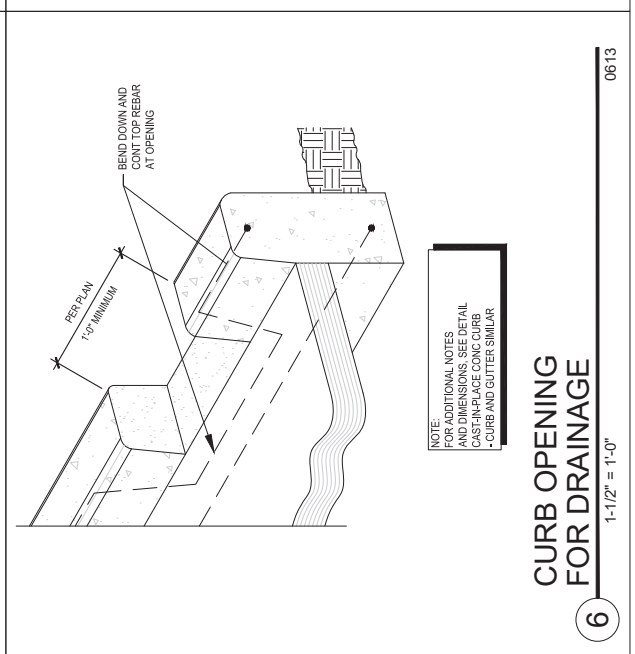
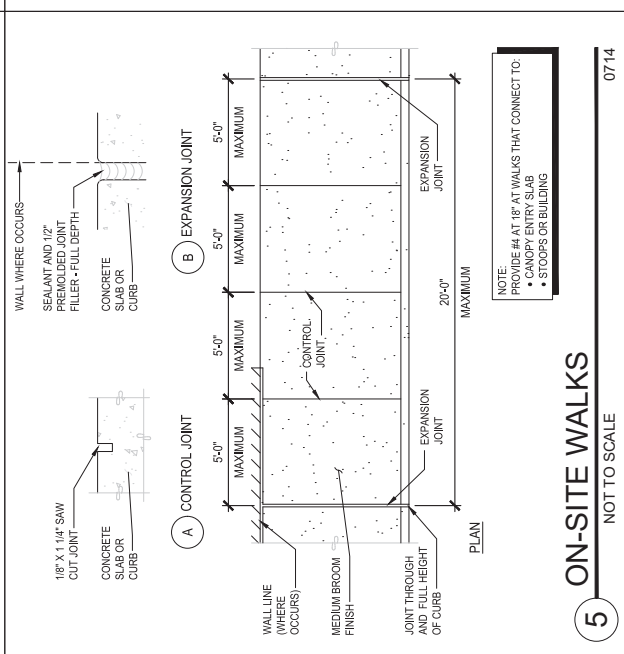
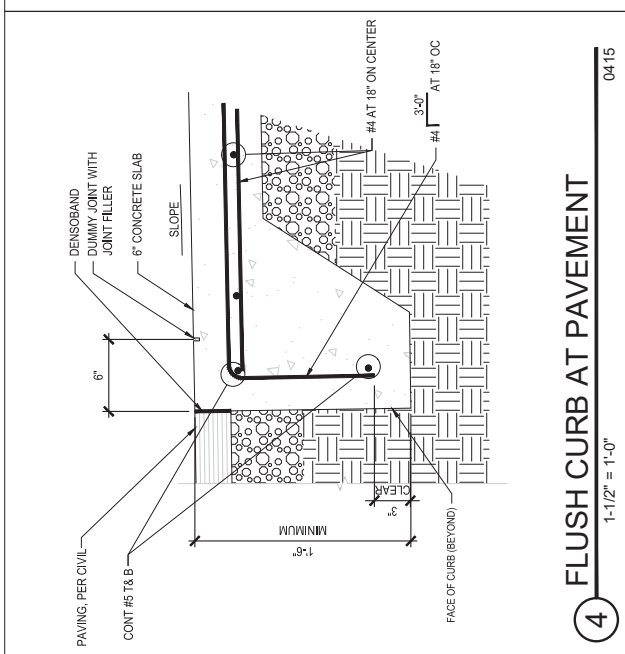
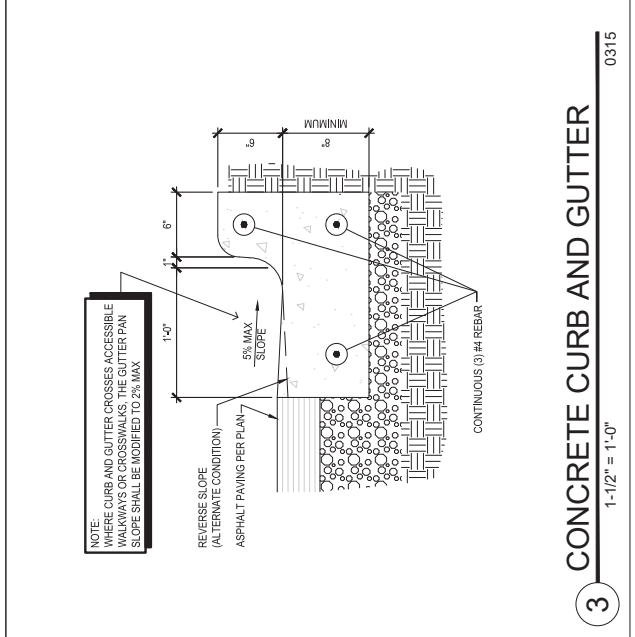
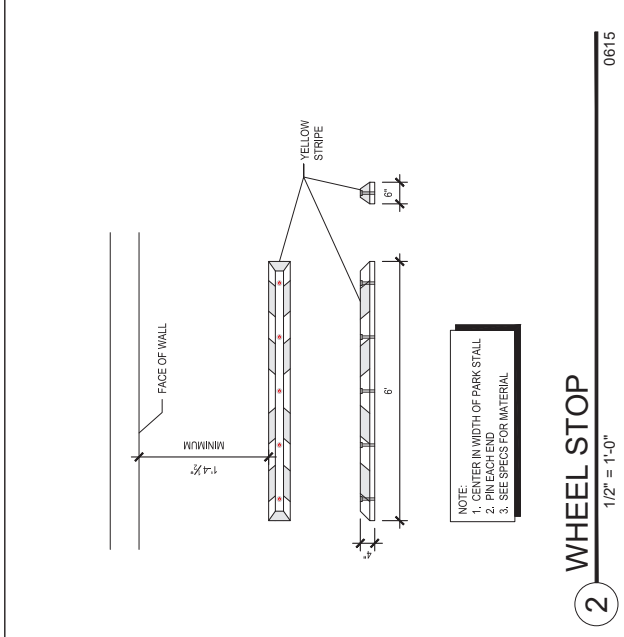
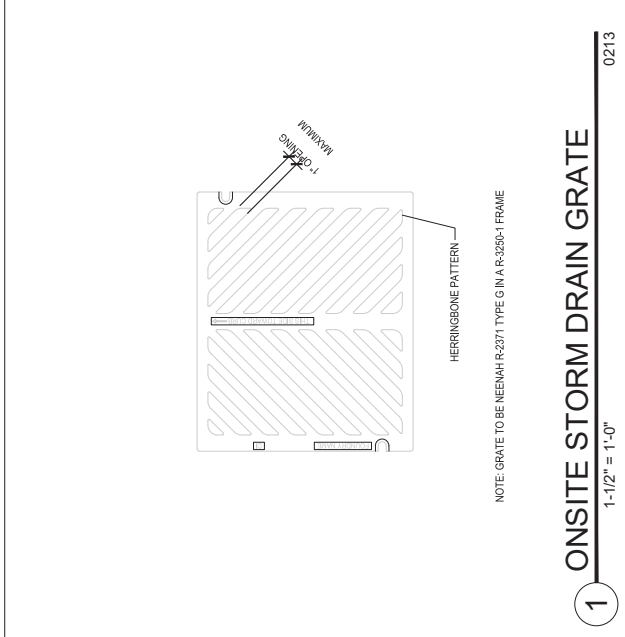
REVISED PRELIMINARY PLAT
JANUARY 26, 2024



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FILE NAME: C701CWC030
PROJECT NO.: CWC23030

CIVIL CONSTRUCTION
DETAILS
C7.1



DATE	ISSUE / REVISION	REVISION
05 JAN 2024	PRELIMINARY PLAT SUBMITTAL	TOA
09 JAN 2024	PAVING PLAT	TOA
20 JAN 2024	REVISED PRELIMINARY PLAT	TOA

PRELIMINARY
NOT FOR
CONSTRUCTION

REVISED PRELIMINARY PLAT
JANUARY 26, 2024

LANDFORM
From Site to Finish

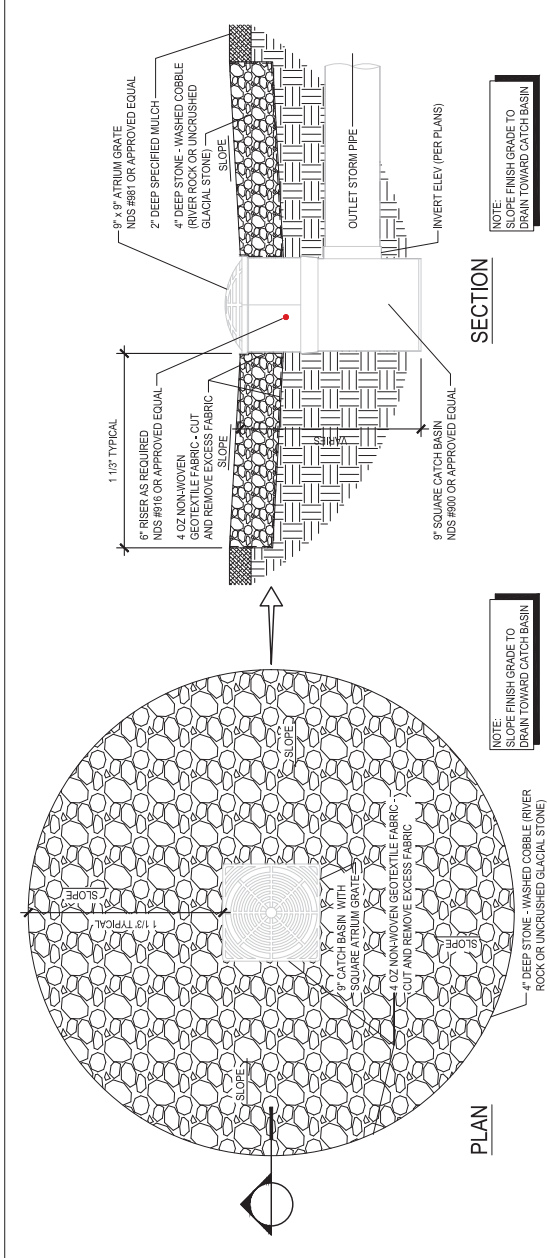
105 South Fifth Avenue Tel: 612-255-9070
Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

FILE NAME: C701CWC030

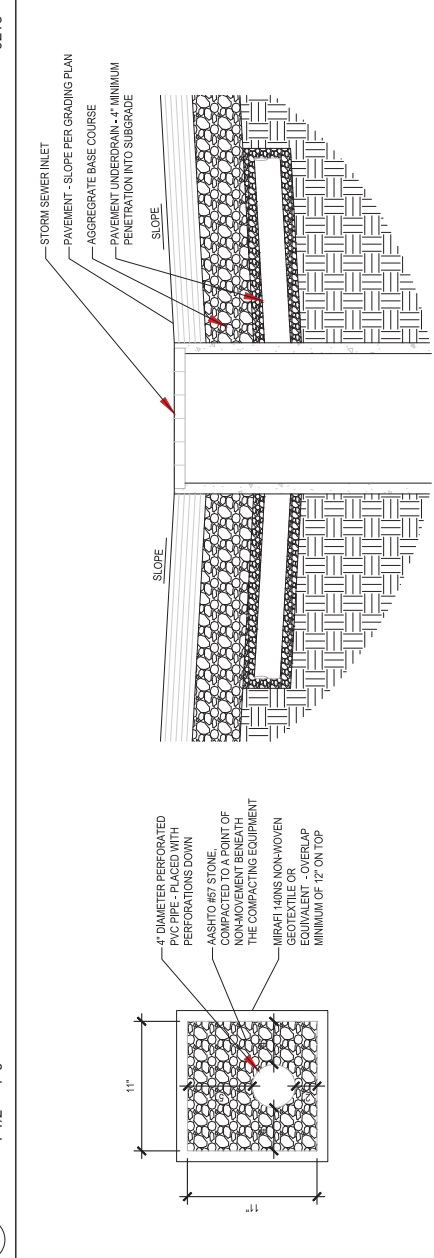
PROJECT NO.: CWC20300

CIVIL CONSTRUCTION
DETAILS

C7.2



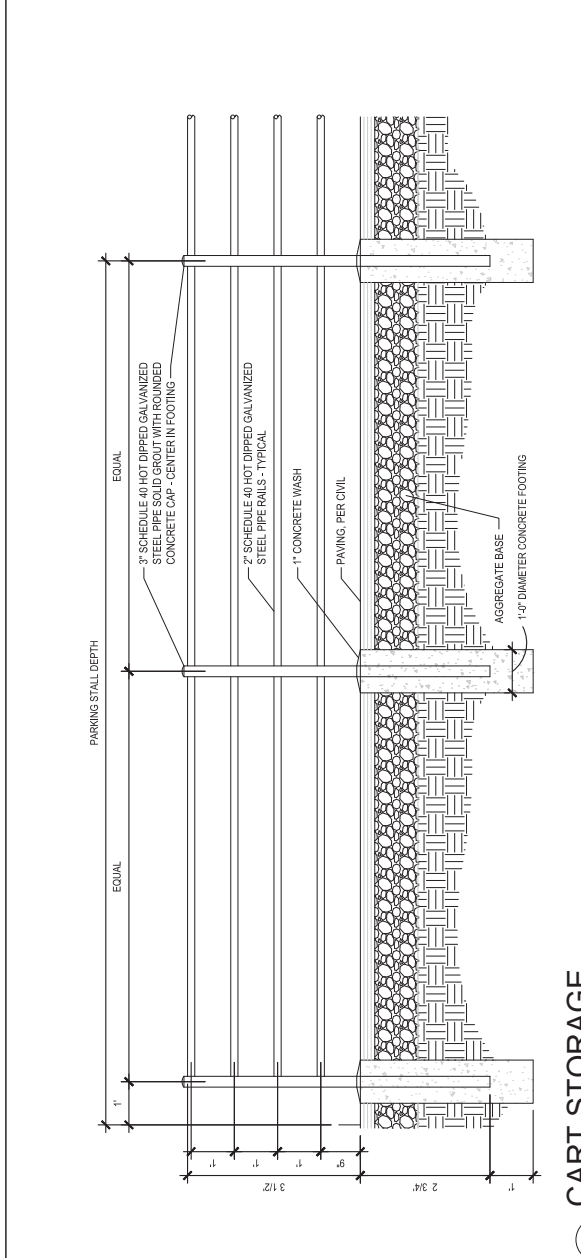
1 LANDSCAPING STORM DRAIN
1-1/2" = 1'-0"



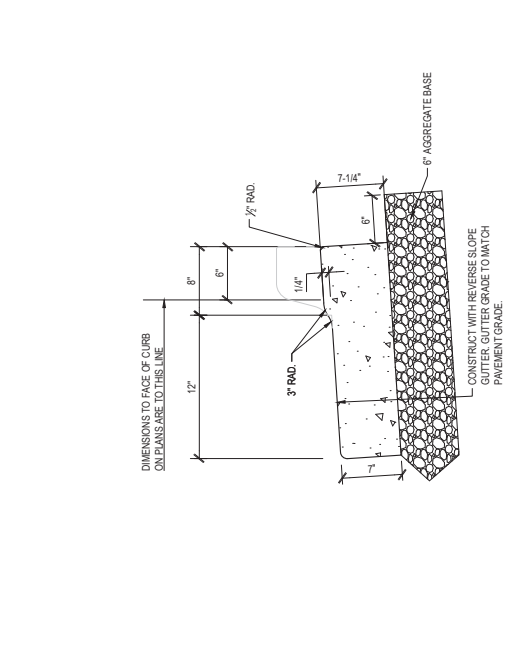
PAVEMENT UNDERDRAIN DETAIL
1-1/2" = 1'-0"

NOTE: PAVEMENT UNDERDRAINS SHALL EXTEND OUT A MINIMUM OF 10 FEET FROM ALL SIDES OF INLETS BELOW PAVEMENT

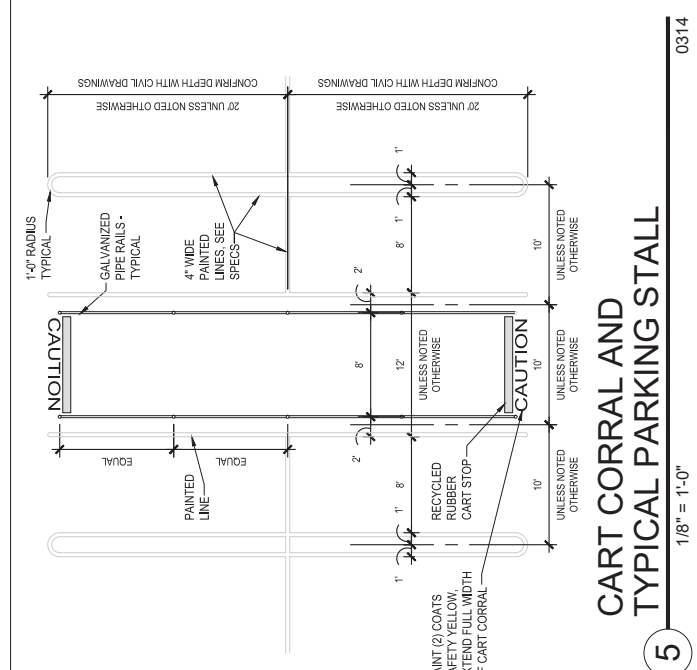
2 DRAINAGE REQUIREMENTS AT INLETS
1-1/2" = 1'-0"



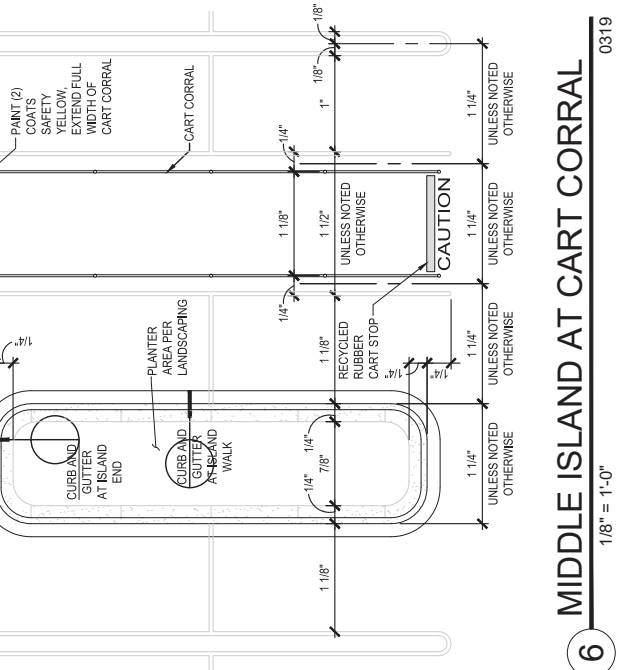
3 CART STORAGE
1 1/2" = 1'-0"



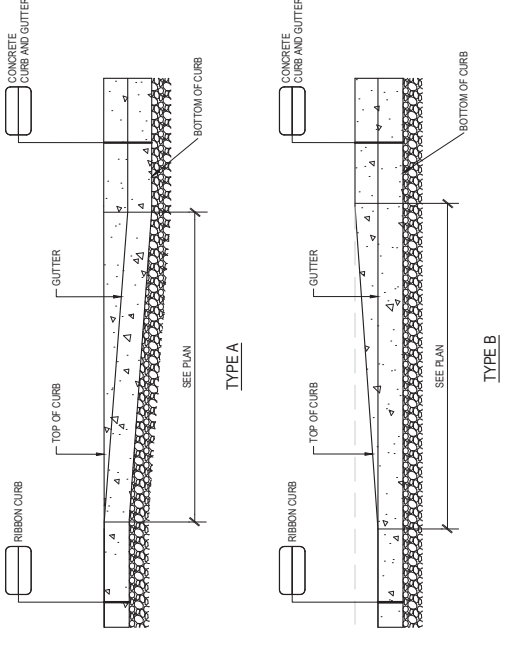
4 12" CONCRETE RIBBON CURB
NO SCALE



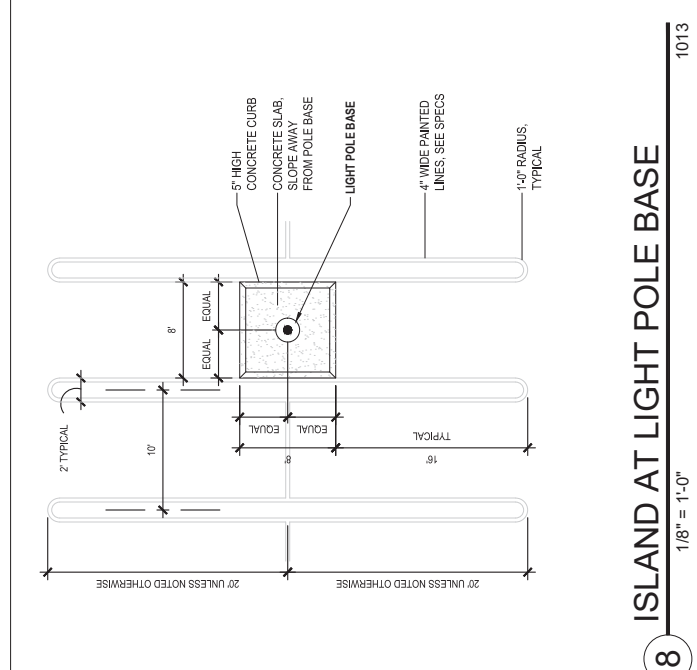
5 CART CORRAL AND TYPICAL PARKING STALL
1/8" = 1'-0"



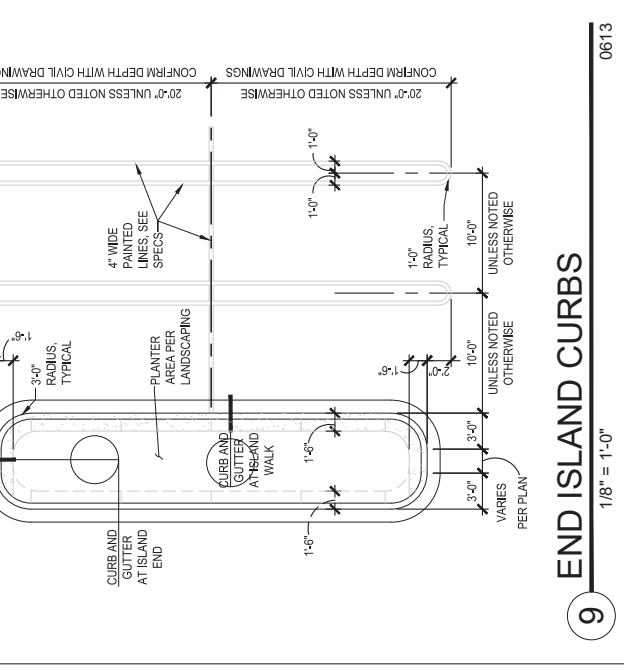
6 MIDDLE ISLAND AT CART CORRAL
1/8" = 1'-0"



7 CONCRETE CURB TRANSITION
NO SCALE



8 ISLAND AT LIGHT POLE BASE
1/8" = 1'-0"



9 END ISLAND CURBS
1/8" = 1'-0"

DATE	ISSUE / REVISION	REVISION
08 JAN 2024	PRELIMINARY PLAT SUBMITTAL	TOM
09 JAN 2024	GREEN IN SET	TOM
21 JAN 2024	REVISED PRELIMINARY PLAT	TOM

PRELIMINARY
NOT FOR
CONSTRUCTION

IF THE SPINNER SEAL OR FOR UNUS DIRECTLY ABOVE ARE NOT VISIBLE THIS SHEET HAS BEEN REPRODUCED BY AN UNAUTHORIZED PARTY. THE ENGINEER WILL BE RESPONSIBLE FOR ANY ADDITIONAL DOCUMENTS.

REVISED PRELIMINARY PLAT
JANUARY 26, 2024

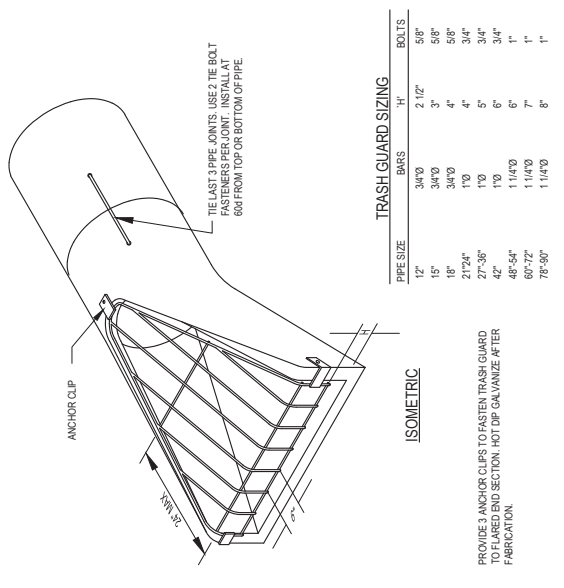
LANDFORM
From Site to Finish

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Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

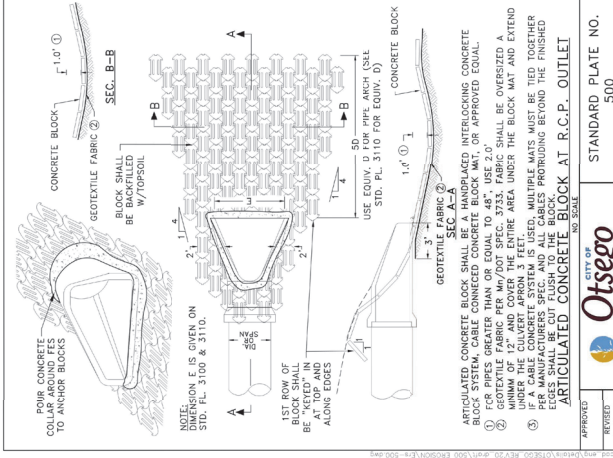
FILE NAME: C701CW030
PROJECT NO.: CW20300

CIVIL CONSTRUCTION
DETAILS
C7.4

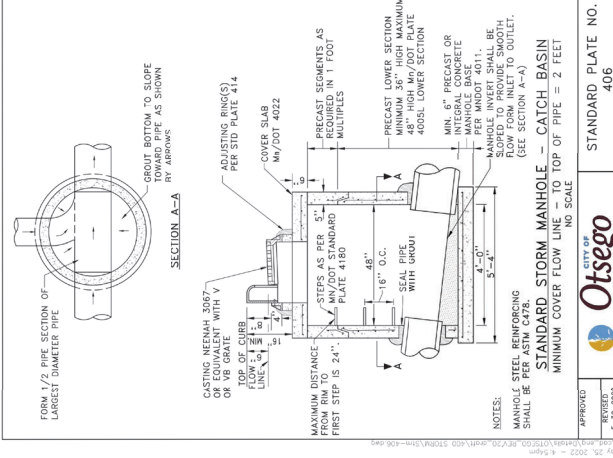
FLARED END SECTION AND TRASH GUARD



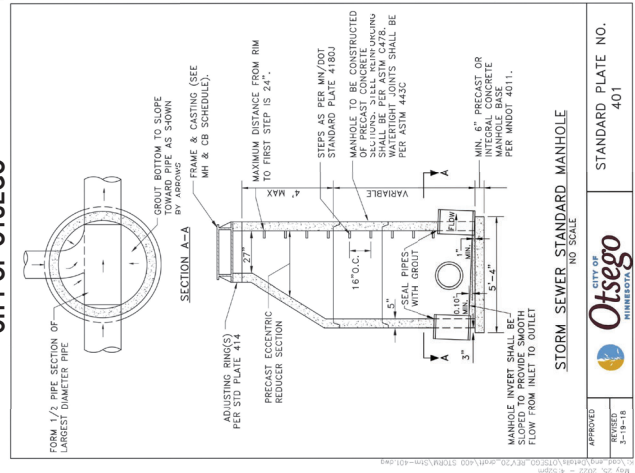
FLARED END SECTION RIP-RAP



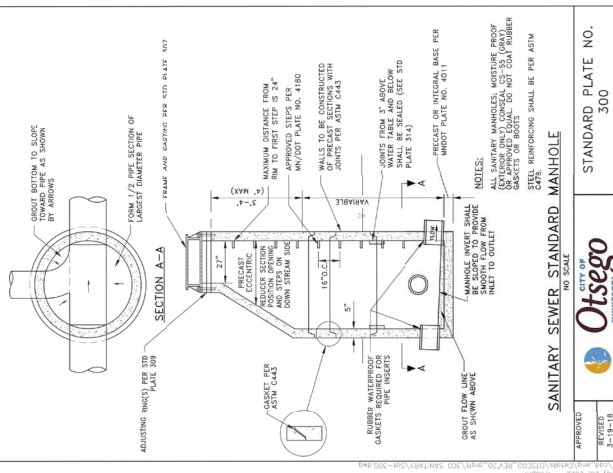
STORM SEWER CATCH BASIN



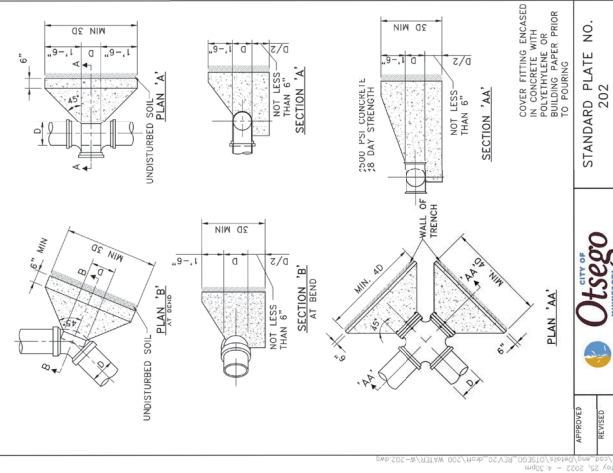
STORM SEWER MANHOLE



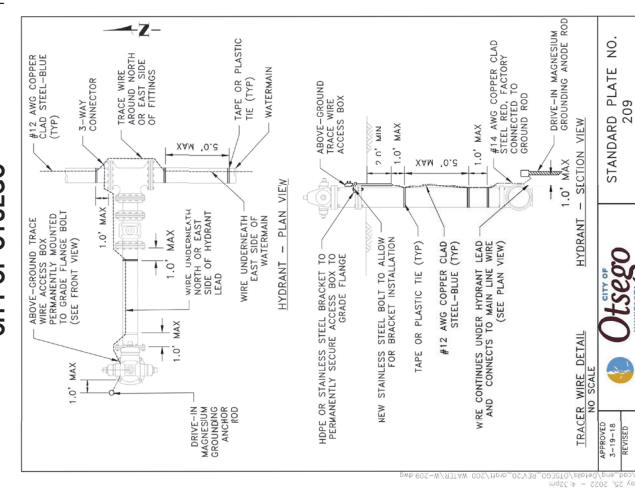
SANITARY SEWER MANHOLE



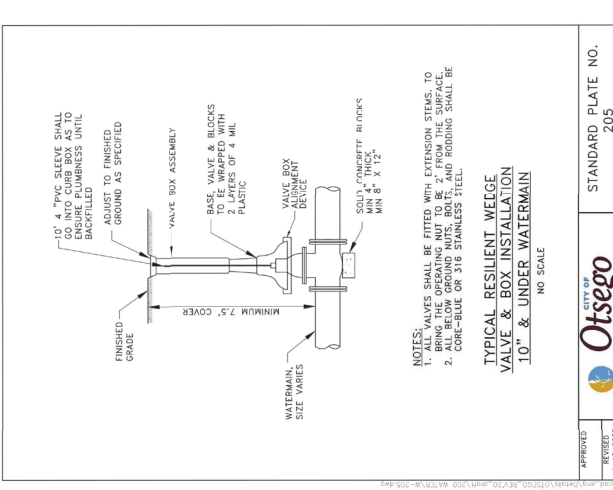
THRUST BLOCKING



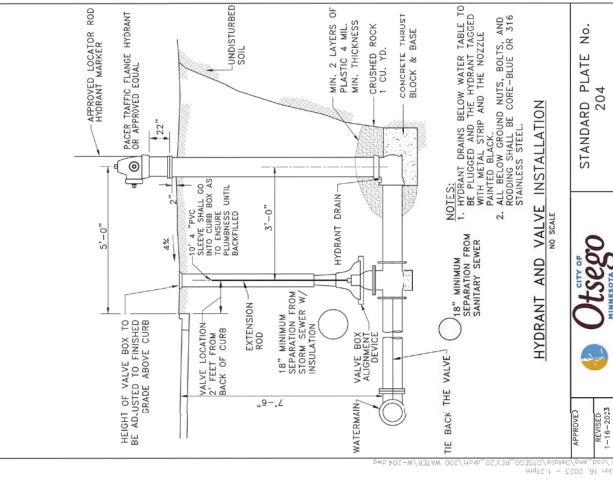
FIRE HYDRANT



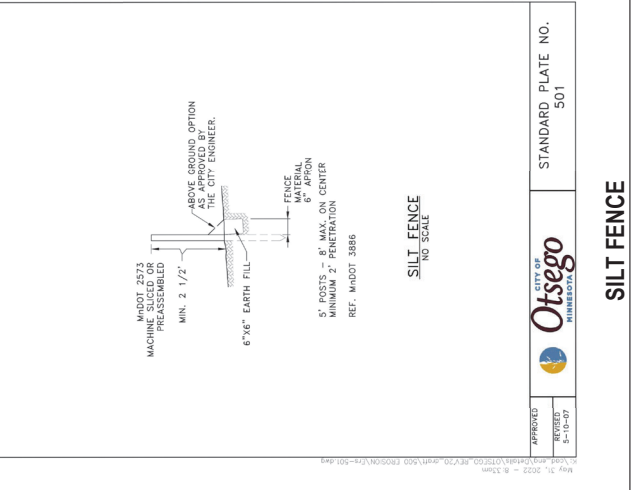
GATE VALVE



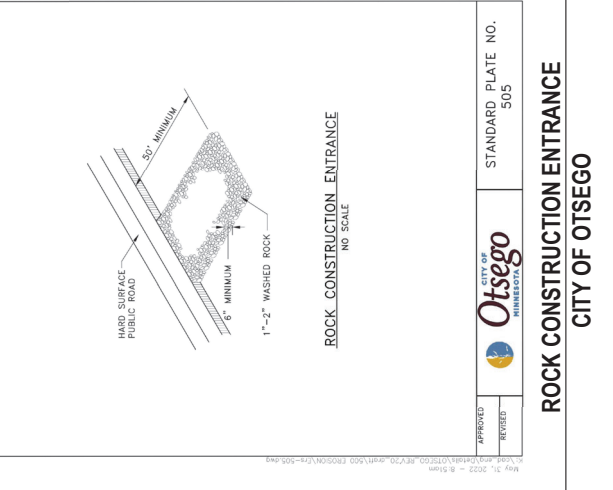
HYDRANT & GATE VALVE



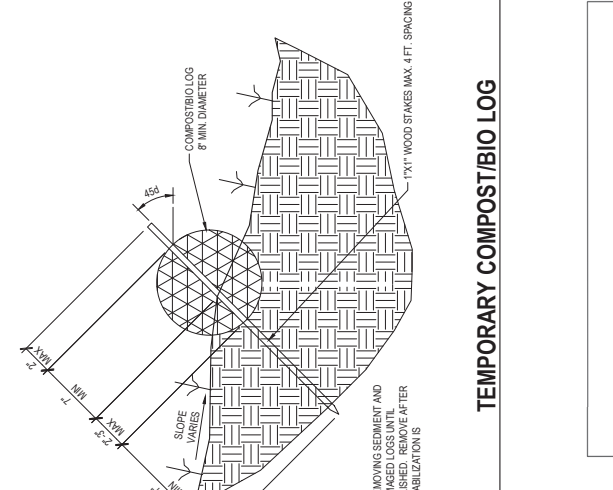
SILT FENCE



ROCK CONSTRUCTION ENTRANCE



TEMPORARY COMPOST/BIO LOG





DATE	REVISION	DESCRIPTION
05 JAN 2024	PRELIMINARY PLAT SUBMITTAL	TOM
05 JAN 2024	GREEN IN SET	TOM
25 JAN 2024	REVISED PRELIMINARY PLAT	TOM

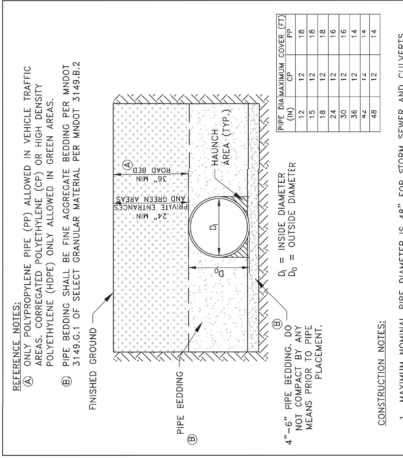
PRELIMINARY
NOT FOR
CONSTRUCTION

IF THE ORIGINAL SEAL OR SIGNATURE DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BY AN INTERLOCKING SYSTEM. THE ENGINEER WILL BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS.



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FILE NAME: C701CWC030
PROJECT NO.: CWC20300

CIVIL CONSTRUCTION
DETAILS
C7.5



REFERENCE NOTES:

- ONLY POLYPROPYLENE PIPE (PP) ALLOWED IN VEHICLE TRAFFIC AREAS. CORRUGATED POLYETHYLENE (CP) OR HIGH DENSITY POLYETHYLENE (HDPE) ONLY ALLOWED IN GREEN AREAS.
- FOR ALL OTHER AREAS, POLYPROPYLENE PIPE (PP) IS REQUIRED.
- 3145.01.01 SELECT GRANULAR MATERIAL PER MNCOT 3145.0.2

4'-0" PIPE BEDDING, DO NOT MEANS PRIOR TO PIPE PLACEMENT.

PIPE FINISHING SERVICE (FS)	MIN. THICKNESS (IN)	MIN. WIDTH (IN)
1	12	18
2	12	18
3	12	18
4	12	18
5	12	18
6	12	18
7	12	18
8	12	18
9	12	18
10	12	18

CONSTRUCTION NOTES:

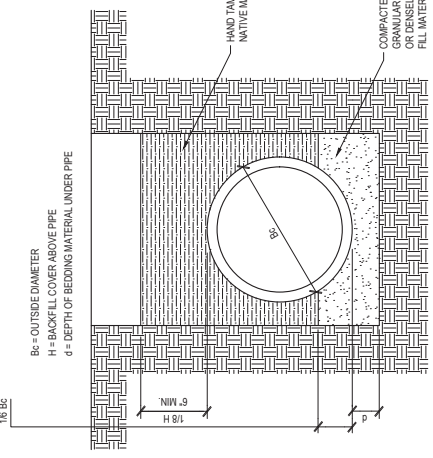
- MAXIMUM NOMINAL PIPE DIAMETER IS 48" FOR STORM SEWER AND CULVERTS.
- PIPE SHALL BE INSTALLED ON A GRANULAR BEDDING.
- PLASTIC PIPE IS NOT ALLOWED WITHIN THE WATER TABLE. DO NOT PERFORM PIPE INSTALLATION, EMBEDMENT COMPACTION, OR DEFLECTION TESTING IN AREAS WITHIN THE WATER TABLE.
- BACKFILL SHALL BE COMPACTED EVENLY AND SIMULTANEOUSLY IN 8" LIFTS ON EACH SIDE OF THE PIPE UP TO 12" ABOVE THE PIPE WHEN COMPACTED.
- A PASSING DEFLECTION TEST IS REQUIRED FOR ACCEPTANCE OF PIPE.
- LOADING DURING CONSTRUCTION AND PER MNCOT 2501 & 2503.

PLASTIC PIPE COVER AND BEDDING REQUIREMENTS FOR STORM DRAINS AND CULVERTS

CITY OF OTSEGO

NO SCALE

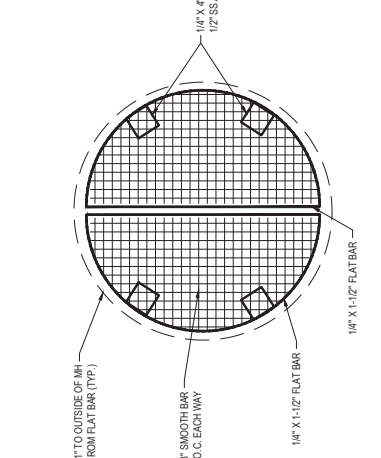
STANDARD PLATE NO. 415



CLASS C BEDDING
THE PIPE IS BEDDED IN COMPACTED GRANULAR MATERIAL OR DENSELY COMPACTED FILL MATERIAL UP TO A HEIGHT EQUAL TO ONE-SIXTH THE OUTSIDE DIAMETER OF THE PIPE. THE DEPTH (G) OF THE BEDDING MATERIAL BELOW THE PIPE IS A MINIMUM OF 3' FOR 27" AND SMALLER PIPE, 6' FOR 60" DIAMETER AND LARGER PIPE. THE REMAINING SUBFILL AND BACKFILL MATERIAL IS COMPACTED IN THE SOILS.

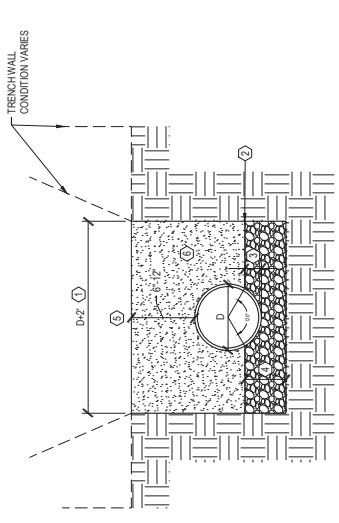
NO SCALE

CLASS C PIPE BEDDING



NO SCALE

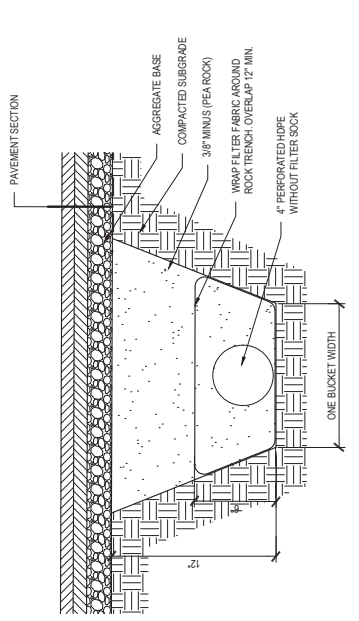
SPLIT GRATE



- 2' FOR PIPE 4" OR LESS.
- MACHINE EXCAVATION LIMIT FOR RIGID PIPE.
- HAND SHAPE BOTTOM FOR SUPPORT OF RIGID PIPE.
- MACHINE EXCAVATION LIMIT FOR FLEXIBLE PIPE. GRANULAR FOUNDATION (IF REQUIRED) OR BEDDING REQUIRED FOR LOCAL CONDITIONS. DEPTH VARIES.
- PROVIDE LOCATING MARKING TAPE MEETING LOCAL REQUIREMENTS.
- SEE DETAIL FOR BEDDING AND ENGAGEMENT.

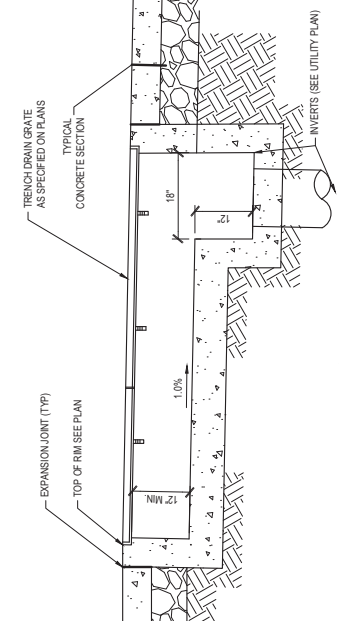
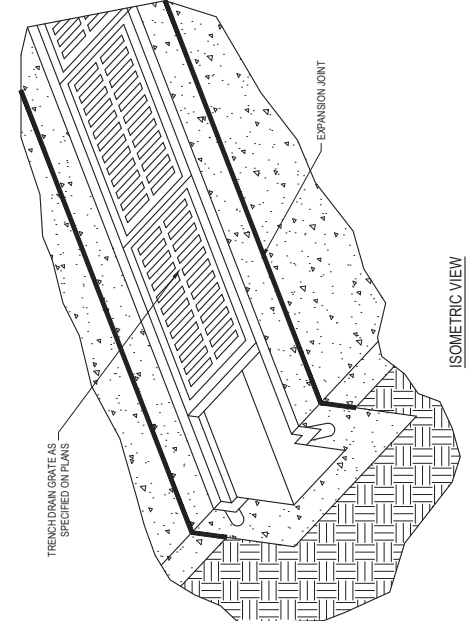
NO SCALE

UTILITY TRENCHING



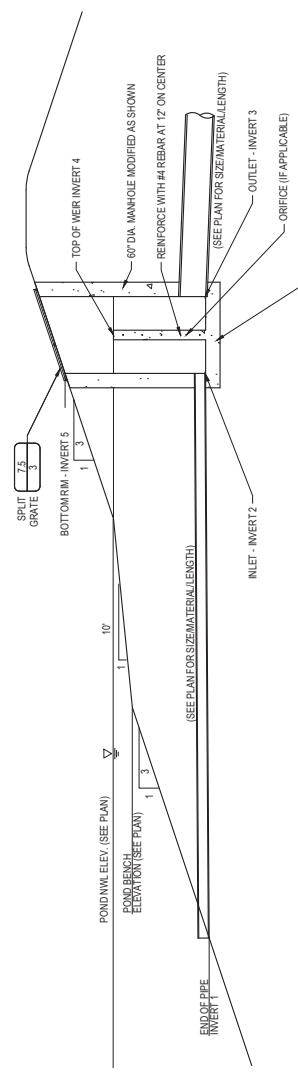
NO SCALE

PAVEMENT DRAIN TILE



NO SCALE

TRENCH DRAIN



STRUCTURE #	INVERT 1	INVERT 2	INVERT 3	INVERT 4	INVERT 5	ORIFICE DIAMETER (SEE SPEC.)
X	X	X	X	X	X	X

NO SCALE

POND OVERFLOW CONTROL STRUCTURE

MEMORANDUM

TO: Honorable Mayor and City Council

CC: Adam Flaherty, City Administrator
Audra Etzel, City Clerk
Daniel Licht, City Planner
Dave Kendall, City Attorney
Stephen J., Costco Wholesale Corporation
Tom Meyer, Landform

FROM: Ronald Wagner, P.E. City Engineer
Abdullah Alqwaizani, E.I.T.

DATE: February 1, 2024

RE: Costco Wholesale

We have reviewed the following information provided by Landform on behalf of Tom Meyer regarding the Costco Wholesale Corporation.

Preliminary Plat for Costco Wholesale, dated 1/26/2024 by Landform

The submittal is to be considered for preliminary acceptance. We would offer the following comments:

Preliminary Plat

1. All watermains including hydrants will require easement.
2. City shall have utility easements for all public sanitary sewers.
3. Open cut (350') replacements of 8" to 12" on Marlowe Ave. All infrastructure shall be returned to the original design.

Overall Site Plan

4. Redesign islands (near main store entry and 2nd aisle west and north side of Marlowe entry) to provide closer to 90-degree intersection for vehicle visibility.
5. Proposed RI/RO access to County Road 137 subject to approval of Wright County.
6. Show the proposed trail 10' width by Co. Rd. 137.

Grading, Drainage, Paving & Erosion Control

7. Design of a storm sewer system rather than an open ditch system is required for drainage along County Road 137.

Other Consideration

8. A geotechnical report shall be provided.
9. A stormwater management plan shall be provided. This is to be submitted with plans for development of Block 1 Lot 1
10. A traffic analysis has been provided. Analysis shows a decrease in LOS at MacIver Avenue/Marlowe Avenue intersection from LOS B to LOS C for left turns from WB Marlowe Avenue to SB MacIver Avenue. Provide additional analysis with application for development of Lot 1, Block 1 evaluating 4-way stop and roundabout alternatives to maintain or improve LOS.
11. A statement certifying the environmental condition of the site including the presence of any hazardous substance as defined in Minnesota Statutes 115B.02, Subd 8 is required.

Summary and/or Recommendation

We recommend approval contingent on the above comments being addressed.

OTSEGO PLANNING COMMISSION MEETING
OTSEGO PRAIRIE CENTER
February 5, 2024
7:00 PM

Call to Order:

Chair Offerman called the meeting to order at 7:00 PM.

Roll Call: Chair Alan Offerman, Vice Chair Aaron Stritesky; Commissioners, Charles Foster, Pam Black, Vern Heidner, Tracy Kincanon, and Laurie Jones*

Also Present: Mayor Jessica Stockamp, Councilmembers Ryan Dunlap, Tina Goede*, Jeff Dahl*, and Brittany Moores*

Staff: City Planner Daniel Licht and Deputy Clerk Katie Kalland

Attended via internet conference (*)

1. Announcements

City Planner Licht noted the public hearing for the Kurtti Property/Tamarack Land Development was canceled and a Public Hearing Notice will be resent for the March 6 meeting.

2. Consider the Following Minutes

2.1 January 2, 2024 Planning Commission Meeting

Commissioner Heidner motioned to approve the January 2, 2024 minutes as written. Commissioner Black seconded. All in favor. Motion carried. 6-0.

3. Public Hearing Item:

3.1 Coborns Realty Group; Parkview Retail 4th Addition

City Planner Licht gave the planning report.

Tom Bruce, Rice Companies, was present and agreed with the planning report.

Chair Offerman opened the Public Hearing at 7:11 p.m.

No public comment was heard.

Chair Offerman closed the Public Hearing at 7:12 p.m.

Commissioner Foster asked when construction would start. Mr. Bruce answered they hope to be open for business in June.

Chair Offerman asked about the location of the building and making it look nice from all four sides. City Planner Licht stated that the building has the required Grade A materials on all four

elevations and the location will be visually screened with landscaping. Chair Offerman asked about the overhead door on the eastside of the site plan. City Planner Licht stated that it is a delivery door and not a loading dock.

Vice Chair Stritesky suggested adding an overhang element to the door. Mr. Bruce stated he is willing to work with the City to add the additional architectural elements.

Vice Chair Stritesky motioned to approve vacation of existing drainage and utility easements within Outlot C, Parkview Retail; approval of the Parkview Retail 4th Addition final plat; and approval of Site and Building Plans for Lot 1, Block 1, Parkview Retail 4th Addition, subject to 15 conditions listed on the January 30, 2024 planning report. Commissioner Kincanon seconded. Motion passed. 6-0.

3.2 Costco Whole Corporation; Zoning Map and Preliminary Plat

City Planner Licht gave the planning report.

Stephen Cross, Cross Engineering & Associates, applicant was present and agreed with the planning report.

Michael Stratis, Costco Real Estate Consultant, gave a summary of Costco operations benefiting the City.

Adam Burghdoff, Kittelson & Associates, gave a summary on the traffic and parking stall statistics for the proposed development.

Chair Offerman opened the Public Hearing at 7:58 p.m.

Jamy Hanson, 12165 66th Court NE, voiced opposition of the Costco store. She feels the location would be better suited for a business that just served the local area. She voiced concern for the traffic at the Marlowe/Maclver intersection.

Brian Merkley, 7551 Ogren Avenue NE, welcomes Costco and stated he was in favor. Mr. Merkley asked about having bike stalls at the store.

Dave Henderson, 6113 MacLynn Avenue NE, stated he is not opposed to having a Costco, but is concerned with the potential traffic at the Marlowe/Maclver intersection.

Lance Eggert, 11579 50th Street NE, voiced concern with potential traffic. Mr. Eggert also asked if construction workers would be local.

Deb Iverson, 9450 Odean Avenue NE, stated she is in favor of the Costco store, but has concerns with the parking at the store and with traffic at the Marlowe/Maclver intersection.

MINUTES OF OTSEGO PLANNING COMMISSION

February 5, 2024

Page 3 of 5

Annette Lamb, 12184 66th Court NE, voiced concern of the potential traffic and feels this isn't a good place to put a Costco.

Tom Reiger, 14857 92nd Circle NE, is in favor for the Costco store and thinks it would be a great asset for the City. Mr. Reiger stated he does agree with the other statements regarding concerns about traffic.

Brie Tillman, 6012 Marx Court NE, stated she has concerns with the potential back up traffic on I-94. Ms. Tillman also suggested lowering the speed limit on 60th Street (CR 137).

Dale Zachman, 5563 McAllister Avenue NE, asked for an explanation of stormwater management plans.

Deke Weinblatt, 6830 Marlowe Avenue NE, stated he is opposed to the Costco store because of traffic concerns on I-94, 60th Street (CR 137) and at MacIver Avenue/Marlowe Avenue. Mr. Weinblatt asked about the location of bald eagles in the area and what protections are in Statute. Mr. Weinblatt also asked about fire services.

Marvin Valerius, 13701 70th Street NE, stated Wright County has jurisdiction on 60th Street (CR 137), not the City, and concerns about plans for roundabouts must be directed to County officials and staff.

Eric Lamb, 12184 66th Court NE, stated Costco could bring a lot of opportunity to the City but has concerns over potential traffic.

Abdou Majang, 7582 Lannon Avenue, stated (via internet conference) that he is in support of the Costco and would like the convenience of having one nearby.

Chair Offerman closed the Public Hearing at 8:39 p.m.

Chair Offerman asked City Planner Licht to address some of the questions from the public. City Planner stated this is the County Road 137 preliminary design for 2025 regardless of whether this project goes forward or not. He stated Wright County is anticipating and estimating the traffic projections for the existing properties and every undeveloped property in the area.

Commissioner Heidner stated roundabouts have a significantly helped with traffic and are less expensive to maintain.

City Planner Licht noted that the proposed parking stalls exceed the Zoning Ordinance requirements.

City Planner Licht noted the store will open once road improvements are completed and that projects will be done parallel.

City Planner Licht stated trail and pedestrian sidewalks are in the design plans along 60th Street (CR 137) as well as internal to the Costco site.

City Planner Licht stated County Road 137 speed limits are set by Wright County and Maclver Avenue is set by the City and has been set to 40 mph, when by statute, it could be 55 mph.

City Planner Licht stated this property is located in the Albertville fire services area and will transition to protect of the Otsego Fire Department. City Planner Licht said that the Otsego Emergency Services Director has reviewed the proposed development and approved the plans from a fire protection standpoint.

City Planner Licht provided information showing the location of a bald eagle nest in the area next to the subject site and explained that under the Bald and Golden Eagle Protection Act there are limitations on construction however; anything that is more than 660 feet away is not subject to those limitations. Mr. Licht said no approval is required for the proposed development.

Mr. Stratis commented on the cleanliness standards of Costco.

Mr. Cross noted they have construction general managers that work all over the country but they do source the labor force from the local area.

Mr. Cross stated the storm water will be managed in accordance with local regulations so that there is no net increase of stormwater runoff from the subject site from current conditions.

Commissioner Foster asked how Costco finds their customer base, and how much time a customer is in the store. Mr. Stratis answered they look at many things but one part is the home values of the area. He stated that the average shopper is in the store for over 45 minutes and the average trip for a family is 3 times a month.

Chair Offerman asked about redevelopment around a Costco store. Mr. Stratis commented that Costco is halo store that creates stability within an area and other businesses want to be near a Costco.

Commissioner Heidner clarified that this is not the approval of a Costco store but a way for Wright County and Costco to work together to figure out transportation needs.

Vice Chair Stritesky motioned to approve the application of Costco Wholesale Corporation for a Zoning Map amendment; preliminary plat; Conditional Use Permit allowing proposed

minimum lot width and shared access to public streets; and vacation of existing drainage and utility easements, subject to 13 conditions listed on the February 1, 2024 planning report. Seconded by Commissioner Foster. All in favor. Motion carried 6-0.

5. Updates

5.1 Updates on City Council actions

Mayor Stockamp updated the Planning Commission on recent City Council actions.

5.2 Updates on future Planning Commission Items

City Planner Licht updated the Planning Commission on upcoming planning items.

6. Adjourn.

Vice Chair Stritesky motioned to adjourn. Seconded by Commissioner Kincanon. All in favor. Motion carried 6-0.

Adjourned at 9:16 p.m.

Respectfully submitted by Katie Kalland, Deputy Clerk



**FINDINGS OF FACT & DECISION
COSTCO
ZONING MAP AMENDMENT**

APPLICANT: Costco Wholesale Corporation

APPLICATION: Request to amend the Zoning Map for land included in the Costco preliminary plat.

CITY COUNCIL MEETING: 26 February 2024

FINDINGS: Based upon review of the application and evidence received, the Otsego City Council now makes the following findings of fact:

A. The legal description of the property is:

Parcel A:

Outlot J, Zimmer Farms according to the recorded plat thereof, Wright County, Minnesota.

Parcel B:

The East 20 acres of the South $\frac{3}{4}$ of the Southeast Quarter of the Southeast Quarter of Section 36, Township 121, Range 24, Wright County, Minnesota, EXCEPT that part thereof take for Interstate Highway No. 94.

- B. The property is within the West Sewer District and is guided for Commercial land uses by the 2023 Otsego Comprehensive Plan, as amended.
- C. The property is zoned A-1, Agriculture Rural Service District.
- D. The applicant has requested approval of a Zoning Map amendment to B-3, General Business District to allow for development of a preliminary plat consisting of three lots.
- E. The Planning Commission and City Council must take into consideration the possible effects of the request with their judgment based upon (but not limited to) the criteria outlined in Section 11-3-2.F of the Zoning Ordinance:

1. The proposed action's consistency with the specific policies and provisions of the Otsego Comprehensive Plan.

Finding: The subject site is guided for future Commercial land uses by the Future Land Use Plan (2023 Otsego Comprehensive Plan, p. 71). The 2023 Comprehensive Plan includes policies for development of Commercial land uses, including:

- *Encourage commercial development to provide needed goods and services, create employment opportunities, and expand the tax base within Otsego.*
- *Promote commercial development in areas with accessibility to TH 101 corridor, I-94, and Labeaux Avenue (CSAH 19) as the primary focus for commercial uses within Otsego. (2023 Otsego Comprehensive Plan, page 59)*

The 2023 Comprehensive Plan specifically describes the subject site as suitable for a large regional retail business with pad sites for smaller restaurant, retail, or service business such as may be developed upon the lots proposed by the preliminary plat (2023 Otsego Comprehensive Plan, pages 62-63). The proposed preliminary plat is consistent with the goals, policies, and plans of the 2023 Comprehensive Plan.

2. The proposed use's compatibility with present and future land uses of the area.

Finding: The subject site is the west edge of an area of commercial and industrial development adjacent to I-94 with access served by an interchange at CSAH 37. Maclver Avenue functions as the east boundary of this commercial and industrial area transitioning to Medium-to-High Density Residential land uses to the east. The proposed subdivision of the property for commercial land uses is consistent with recommended land use concepts (2023 Comprehensive Plan, page 25) and compatible with the existing and planned land uses in the area.

3. The proposed use's conformity with all performance standards contained within the Zoning Ordinance and other provisions of the City Code.

Finding: The proposed preliminary plat complies with the requirements of the Zoning Ordinance, Subdivision Ordinance, and Engineering Manual.

4. Traffic generation of the proposed use in relation to capabilities of streets serving the property.

Finding: The subject site will be accessed via 60th Street (CR 137) designated as a Major Collector Road by the 2016 Wright County Long Range Transportation Plan (2016 Wright County Long Range Transportation Plan, Figure 5-2) and Maclver Avenue designated as a Residential Collector Street by the 2023 Otsego Comprehensive Plan (Otsego Comprehensive Plan, page 87). Wright County will undertake an improvement project in 2025 for 60th Street (CR 137) that will provide capacity for regional traffic, including that generated by the proposed development. Maclver Avenue has existing capacity to accommodate traffic generated by the proposed development subject to the developer completing those improvements to the Maclver Avenue and Marlowe Avenue intersection as determined to be required by the City Engineer.

5. The proposed use can be accommodated by existing public services and facilities and will not overburden the City's service capacity.

Finding: The subject site is within the West Sewer District established by the 2023 Comprehensive Plan (2023 Otsego Comprehensive Plan, p 39). The Sewer District is that area of Otsego where City sewer and water utilities and transportation infrastructure is to be constructed in support of the land uses guided by the Future Land Use Plan. There is sufficient capacity within existing public services and facilities to accommodate the proposed development.

- F. The planning report dated 1 February 2024 prepared by the City Planner, The Planning Company LLC, is incorporated herein.
- G. The Otsego Planning Commission conducted a public hearing at their regular meeting on 5 February 2024 to consider the application, preceded by published and mailed notice; based upon review of the application and evidence received, the public hearing was closed and the Planning Commission recommended by a 6-0 vote that the City Council approve the request based on the aforementioned findings.

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DECISION: Based on the foregoing information and applicable ordinances, the requested is hereby **APPROVED**.

ADOPTED by the Otsego City Council this 26th day of February, 2024.

MOTION BY:
SECONDED BY:
IN FAVOR:
OPPOSED:

CITY OF OTSEGO

Jessica L. Stockamp, Mayor

ATTEST:

Audra Etzel, City Clerk

CITY OF OTSEGO
COUNTY OF WRIGHT
STATE OF MINNESOTA

ORDINANCE NO: 2024-03

AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE CITY OF OTSEGO TO PROVIDE FOR A CHANGE IN ZONING CLASSIFICATION FOR LAND INCLUDED WITHIN THE COSTCO PRELIMINARY PLAT.

THE CITY COUNCIL OF THE CITY OF OTSEGO DOES HEREBY ORDAIN:

Section 1. The official Zoning Map of the Otsego Zoning Ordinance is hereby amended to change the zoning classification of the property legally as described as:

Parcel A:

Outlot J, Zimmer Farms according to the recorded plat thereof, Wright County, Minnesota.

Parcel B:

The East 20 acres of the South $\frac{3}{4}$ of the Southeast Quarter of the Southeast Quarter of Section 36, Township 121, Range 24, Wright County, Minnesota, EXCEPT that part thereof take for Interstate Highway No. 94.

Section 2. The property is hereby rezoned from an A-1, Agricultural Rural Service District designation to B-3, General Business District.

Section 3. The Zoning Map of the City of Otsego shall not be republished to show the aforesaid rezoning, but the Zoning Administrator shall appropriately mark the Zoning Map on file at City Hall for the purpose of indicating the rezoning hereinabove provided for in this Ordinance, and all of the notations, references and other information shown thereon are hereby incorporated by reference and made part of this Ordinance.

Section 4. This Ordinance shall become effective immediately upon its adoption and publication.

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ADOPTED by the Otsego City Council this 26th day of February, 2024.

MOTION BY:
SECONDED BY:
IN FAVOR:
OPPOSED:

CITY OF OTSEGO

Jessica L. Stockamp, Mayor

ATTEST:

Audra Etzel, City Clerk



**FINDINGS OF FACT & DECISION
COSTCO
PRELIMINARY PLAT/CONDITIONAL USE PERMIT**

APPLICANT: Costco Wholesale Corporation

APPLICATION: Request for approval of a preliminary plat and Conditional Use Permit.

CITY COUNCIL MEETING: 26 February 2024

FINDINGS: Based upon review of the application and evidence received, the Otsego City Council now makes the following findings of fact:

A. The legal description of the property is:

Parcel A:

Outlot J, Zimmer Farms according to the recorded plat thereof, Wright County, Minnesota.

Parcel B:

The East 20 acres of the South $\frac{3}{4}$ of the Southeast Quarter of the Southeast Quarter of Section 36, Township 121, Range 24, Wright County, Minnesota, EXCEPT that part thereof take for Interstate Highway No. 94.

- B. The property is within the West Sewer District and is guided for Commercial land uses by the 2023 Otsego Comprehensive Plan, as amended.
- C. The property is zoned B-3, General Business District.
- D. The applicant is requesting approval of a preliminary plat and Conditional Use Permit to allow for development of three lots.
- E. The Planning Commission and City Council must take into consideration the possible effects of the request with their judgment based upon (but not limited to) the criteria outlined in Section 11-4-2.F of the Zoning Ordinance:

1. The proposed action's consistency with the specific policies and provisions of the Otsego Comprehensive Plan.

Finding: The subject site is guided for future Commercial land uses by the Future Land Use Plan (2023 Otsego Comprehensive Plan, p. 71). The 2023 Comprehensive Plan includes policies for development of Commercial land uses, including:

- *Encourage commercial development to provide needed goods and services, create employment opportunities, and expand the tax base within Otsego.*
- *Promote commercial development in areas with accessibility to TH 101 corridor, I-94, and Labeaux Avenue (CSAH 19) as the primary focus for commercial uses within Otsego. (2023 Otsego Comprehensive Plan, page 59)*

The 2023 Comprehensive Plan specifically describes the subject site as suitable for a large regional retail business with pad sites for smaller restaurant, retail, or service business such as may be developed upon the lots proposed by the preliminary plat (2023 Otsego Comprehensive Plan, pages 62-63). The proposed preliminary plat is consistent with the goals, policies, and plans of the 2023 Comprehensive Plan.

2. The proposed use's compatibility with present and future land uses of the area.

Finding: The subject site is the west edge of an area of commercial and industrial development adjacent to I-94 with access served by an interchange at CSAH 37. Maclver Avenue functions as the east boundary of this commercial and industrial area transitioning to Medium-to-High Density Residential land uses to the east. The proposed subdivision of the property for commercial land uses is consistent with recommended land use concepts (2023 Comprehensive Plan, page 25) and compatible with the existing and planned land uses in the area.

3. The proposed use's conformity with all performance standards contained within the Zoning Ordinance and other provisions of the City Code.

Finding: The proposed preliminary plat complies with the requirements of the Zoning Ordinance, Subdivision Ordinance, and Engineering Manual.

4. Traffic generation of the proposed use in relation to capabilities of streets serving the property.

Finding: The subject site will be accessed via 60th Street (CR 137) designated as a Major Collector Road by the 2016 Wright County Long Range Transportation Plan (2016 Wright County Long Range Transportation Plan, Figure 5-2) and Maclver Avenue designated as a Residential Collector Street by the 2023 Otsego Comprehensive Plan (Otsego Comprehensive Plan, page 87). Wright County will undertake an improvement project in 2025 for 60th Street (CR 137) that will provide capacity for regional traffic, including that generated by the proposed development. Maclver Avenue has existing capacity to accommodate traffic generated by the proposed development subject to the developer completing those improvements to the Maclver Avenue and Marlowe Avenue intersection as determined to be required by the City Engineer.

5. The proposed use can be accommodated by existing public services and facilities and will not overburden the City's service capacity.

Finding: The subject site is within the West Sewer District established by the 2023 Comprehensive Plan (2023 Otsego Comprehensive Plan, p 39). The Sewer District is that area of Otsego where City sewer and water utilities and transportation infrastructure is to be constructed in support of the land uses guided by the Future Land Use Plan. There is sufficient capacity within existing public services and facilities to accommodate the proposed development.

- F. The planning report dated 1 February 2024 prepared by the City Planner, The Planning Company LLC, is incorporated herein.
- G. The Otsego Planning Commission conducted a public hearing at their regular meeting on 5 February 2024 to consider the application, preceded by published and mailed notice; based upon review of the application and evidence received, the public hearing was closed and the Planning Commission recommended by a 6-0 vote that the City Council approve the request based on the aforementioned findings.

DECISION: Based on the foregoing information and applicable ordinances, the requested is hereby **APPROVED**, subject to the following conditions:

1. The preliminary plat shall be valid for one year from the date of approval in accordance with Minnesota Statutes 462.356, Subd. 3c unless extended by the City Council.
2. Approval of the preliminary plat shall not guarantee access to sanitary sewer service; the City shall only allocate sanitary sewer capacity to approved final plats with signed development contracts to assure the City of timely development.
3. Right-of-way dedication, road and pedestrian improvements required to accommodate traffic generated by the proposed development, and access from the proposed development, and access to 60th Street (CR 137) shall be subject to review of the City Engineer and approval of Wright County.
4. Right-of-way dedication, street and pedestrian improvements required to accommodate traffic generated by the proposed development, and access from the proposed development to Maclver Avenue shall be subject to review and approval of the City Engineer.
5. An ingress/egress and cross parking easement approved by the Zoning Administrator shall be recorded over Lots 1-3, Block 1 concurrent with recording of a final plat.
6. All utility plans shall be subject to review and approval of the City Engineer.
7. Utility Availability Charges shall be paid at the time of final plat approval in accordance with the City Code and City Fee Schedule then in effect less any credits for trunk improvements as determined by the City Engineer.
8. Utility Connection Charges shall be paid at the time a building permit is issued for construction within each lot of the preliminary plat in accordance with the City Code and City Fee Schedule then in effect.

9. All stormwater management, grading, wetland impacts, and erosion control plans and issues shall be subject to review and approval of the City Engineer.
10. Stormwater Impact Fees for Otsego Creek shall be paid at the time of final plat approval as required by the City Code and City Fee Schedule then in effect.
11. All drainage and utility easements shall be subject to review and approval of the City Engineer.
12. A cash fee shall be calculated and paid at the time of final plat approval in lieu of land dedication for City park purposes in accordance with the Subdivision Ordinance.
13. A Development Contract shall be executed by the developer and approved by resolution of the City Council concurrent with the final plat in accordance with Section 10-10-4.A of the Subdivision Ordinance.

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ADOPTED by the Otsego City Council this 26th day of February, 2024.

MOTION BY:
SECONDED BY:
IN FAVOR:
OPPOSED:

CITY OF OTSEGO

Jessica L. Stockamp, Mayor

ATTEST:

Audra Etzel, City Clerk